

**Vicinity Map**  
Not To Scale

**Site Data**

**Tax Parcels:** 0005-00-093.05, 0005-00-078.00, 0005-00-089.01, 0005-00-089.00, 0005-00-076.00, 0005-00-077.00, 0005-00-093.04, 0005-00-092.00, 0005-00-091.03, 0005-00-083.00, 0005-00-091.00, 0005-00-075.01, 0005-00-075.00, 0005-00-079.01, & a portion of 0005-00-074.03

**Total Acreage:** up to 179.35 Acres

**Location:** Lancaster County, SC

**Zoning:**  
Existing: B-3 (General Commercial District)  
R-15P (Moderate Density Residential/  
Agricultural Panhandle District)  
Proposed: PDD-27

Civic/Institutional/Park Site	Village Density:
<b>Village A:</b> Senior Uses (see Note #2)	up to 10 acres
<b>Senior Residences</b>	
<b>Village B:</b> Maximum Building Height: 50'	up to 11 acres
<b>Senior Day Center:</b> up to 6,000 SF	up to 8.0 DU/AC
<b>Senior Residences:</b> up to 200 Units	
<b>Senior Village Density:</b> up to 8.0 DU/AC	
Residential Villages "C, D, E, & F"	Village Density:
<b>Multi-Family Attached (Townhomes)</b>	
<b>Village C:</b> Maximum Building Height: 41'	up to 165 Units
<b>Single-Family Detached</b>	
<b>Village D:</b> 55' Front Loaded Lots up to 122 Lots 57' Front Loaded Lots up to 40 Lots Maximum Building Height: 35'	up to 2.99 DU/AC
<b>Village E:</b> 55' Front Loaded Lots up to 52 Lots 57' Front Loaded Lots up to 18 Lots Maximum Building Height: 35'	up to 2.99 DU/AC
<b>Village F:</b> 61' Front Loaded Lots up to 98 Lots 70' Front Loaded Lots up to 35 Lots Maximum Building Height: 35'	up to 2.99 DU/AC
<b>Total Residential Lots:</b>	up to 530

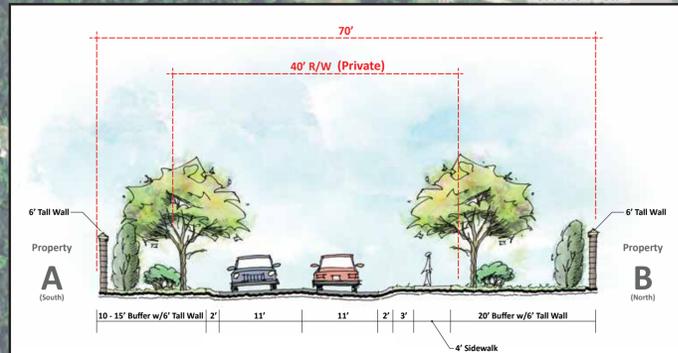
**Open Space:**  
Minimum Required: +/- 35.87 Acres (+/- 20%)  
Provided: +/- 35.87 Acres (+/- 20%)

**Connectivity Index (Links/Nodes):**  
Required: 1.4  
Provided: 1.4 (70 Links/49 Nodes)

**Roads/Streets:**  
All internal roadways will be private streets and constructed in accordance with the minimum standards outlined in the PDD-27 Development Ordinance.

**Legend**

- Potential Site Access
- Secondary Site Access
- Primary Village Access
- Potential Stub Street
- Calvin Hall Road Realignment
- Civic/Institutional Village "A"
- Mixed-Use Village "B"
- Village "C"
- Village "D"
- Village "E"
- Village "F"



**Note:**  
A reduction in the proposed buffer width near the entrance located on Harrisburg Road in the southeastern most vicinity of Parcel ID # 0005-00-074.03. Proposed Buffer reduction to include a 10'-20' foot buffer area supplemented by a 6' Tall Wall with sufficient additional landscaping to meet or exceed landscape planting requirements specified as part of the Buffer Yard Requirements for a Planting Yard Type 1 buffer as further outlined in Table 12-2 of Section 12.8 of the UDO. (See note #1 below.)

**Notes:**  
1. Buffers - Except as otherwise specifically provided on the Master Plan, the PDD Ordinance or within the Development Agreement, the Development shall comply with the buffer requirements set out in Section 13.12 of the UDO. Notwithstanding the foregoing, two variances from the buffer standards have been provided through the Development Agreement. First, a variance to allow a reduction in the width of the required buffer located in Village C adjacent to the southernmost access road into the Development from Harrisburg Road has been provided as more particularly depicted on the Entrance Buffer Reduction Detail on the Master Plan (the "Detail"). As provided on the Detail, Developer shall be required to install a minimum 6 foot tall wall on the north and south sides of the access road within the reduced buffer area. More specifically, the minimum width of this buffer shall range from 10 feet to 20 feet as more particularly depicted on the Detail due to the width of that portion of the Property. Second, a variance has been provided to eliminate the requirement that a berm be installed within the 30 foot landscaped buffer to be established on the frontage of all roads.  
2. Village A - In the event that the County does not accept the dedication and conveyance of Village A as more particularly described in Section 26 of the PDD-27 Ordinance, Village A may be incorporated into Village B and Village A may be developed with a freestanding building containing a maximum of 6,500 square feet of gross floor area devoted to commercial, retail and service uses that are accessory to and in support of the senior uses as further described in the PDD - 27 Ordinance. Should this event occur, a 30' wide Landscape Buffer with 6' foot wide sidewalks will be provided along Harrisburg Road along with a 40' wide undisturbed buffer along the westernmost property line of the PDD abutting the Harrisburg Elementary School.  
3. Acreages - The proposed Avondale Master Plan indicates preliminary acreage assignments for the various Villages which may change to accommodate final agency design criteria and requirements, along with potential applicant phasing preferences to address market demand for certain lot/product assignments, proposed road and open space locations, along with requisite SCDOT approvals for planned driveway entrances, final geometric configuration and design of Calvin Hall Road, Harrisburg Road frontage/ Right of Way dedications, required turn lane improvements, along with other required interior roads, etc. Any proposed acreage modifications will be compliant with required Density allocations as further specified in the PDD-27 Ordinance.

**ESP**  
ESP Associates, P.A.

P.O. Box 7030  
Charlotte, NC 28241  
NC - 704.583.4949

3475 Lakemont Blvd.  
Fort Mill, SC 29708  
SC - 803.802.2440

www.espassociates.com

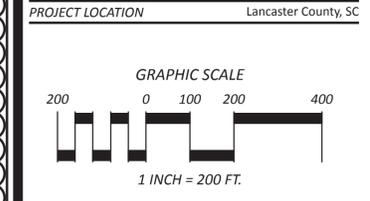
This drawing and/or the design shown are the property of ESP Associates, P.A. The reproduction, alteration, copying, or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.  
ESP Associates, P.A.

**SINACORI BUILDERS**

P.O. Box 471785  
Charlotte, NC 29247

**Avondale**

**Preliminary Master Plan**  
**PDD-27**



**PROJECT LOCATION:** Lancaster County, SC

PROJECT LOCATION	DO18.100
DRAWING NAME	PDD Master Plan.psd
DATE	July 1, 2015
DRAWN BY	AB/GW/MK
CHECKED BY	MM/MK/PT

AGENCY / SUBMITTAL REVISION			
NO.	DATE	BY	REVISION
01	5-29-15	GW	Omit parcel 0005-00-090.00, update tabular and project acreage
02	7-01-15	GW	Revise development program (sheet 1 of 3)
03	8-03-15	GW	Planning Board conditions (7-21-15)
04	8-25-15	GW	Revised PDD ordinance per staff comments (8-11-15)
05	11-02-15	GW	Updated layout and tabular per discussions with staff (10-27-15)
06	11-11-15	GW	Revised per staff comments (memo 11-5-15)
07	12-23-15	AB	Agency Comments (1st Reading 12-14-15)
08	7-01-16	ML	Revised Civic/Institutional/Park Acreage

This drawing and/or the design shown are the property of ESP Associates, P.A. The reproduction, alteration, copying, or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action. ESP Associates, P.A.

CLIENT



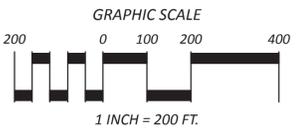
PROJECT

# Avondale

SHEET TITLE

## Existing Features

PROJECT LOCATION Lancaster County, SC



PROJECT LOCATION	DO18.100
DRAWING NAME	PDD Master Plan.psd
DATE	July 1, 2015
DRAWN BY	GW
CHECKED BY	MK/PT

AGENCY / SUBMITTAL REVISION

NO.	DATE	BY	REVISION
01	5-29-15	GW	omit parcel 0005-00-090.00, update tabular and project acreage
02	7-1-15	GW	revise development program (sheet 1 of 3)
03	8-3-15	GW	Planning Board conditions (7-21-15)
04	8-25-15	GW	revised PDD ordinance per staff comments (8-11-15)
05	11-2-15	GW	updated layout and tabular per discussions with staff (10-27-15)
06	11-11-15	GW	revised per staff comments (items 11-6-15)
07	12-23-15	AB	Agency Comments (1st Reading 12-14-15)
08	7-01-16	ML	Revised Civic/Institutional /Park Acreage

NO.	DATE	BY	REVISION



**Vicinity Map**  
Not To Scale

**Site Data**

**Tax Parcels:** 0005-00-093.05, 0005-00-078.00, 0005-00-089.01, 0005-00-089.00, 0005-00-076.00, 0005-00-077.00, 0005-00-093.04, 0005-00-092.00, 0005-00-091.03, 0005-00-083.00, 0005-00-091.00, 0005-00-075.01, 0005-00-075.00, 0005-00-079.01, & a portion of 0005-00-074.03

**Total Acreage:** up to 179.35 Acres  
**Senior Village:** up to 21 Acres  
**Residential Area:** up to 158.35 Acres

**Location:** Lancaster County, SC

**Zoning:**  
Existing: B-3 (General Commercial District)  
R-15P (Moderate Density Residential/  
Agricultural Panhandle District)

**Legend**

-  **Property Line**  
Property Lines on sheets 1 and 2 have been illustrated with distances and dimensions drawn to scale.
-  **Tree Cover/Wooded Areas**  
The project area consists of forested land areas that are denoted by the legend. Typical overstory vegetation includes sweetgum (*Liquidambar styraciflua*), ironwood (*Carpinus caroliniana*), white oak (*Quercus alba*), and American sycamore (*Platanus occidentalis*). Common understory species found on site include Eastern red cedar (*Juniperus virginiana*), American holly (*Ilex opaca*), Christmas fern (*Polystichum acrostichoides*), ground cedar (*Diphasiastrum digitatum*), Japanese honeysuckle (*Lonicera japonica*), muscadine (*Vitis rotundifolia*), poison ivy (*Toxicodendron radicans*), and sticky willy (*Galium aparine*), with approximate average diameters ranging from 2" to 30".
-  **Stream/Wetland**  
Stream/Wetland information is based on preliminary information obtained from "Approximate Depiction of Waters and Wetlands", prepared by Huysman & Bandy, Inc., dated July 8, 2015. There does not appear to be floodplain on the property.
-  **Vehicle Accommodation Areas**  
Existing driveways and circulation identified per available Lancaster County aerial imagery.
-  **Above Ground Utility Lines**  
Existing utility lines identified per Lancaster County aerial imagery.
-  **Existing Structures**  
Existing structures located per available Lancaster County aerial imagery and consist of single-family residences, outbuildings, and industrial buildings that range in size from approximately 300 to 8000 SF.
-  **Zoning District Line**  
Zoning District Boundaries are based on information obtained from Lancaster County GIS data.
- Uses of Adjoining Properties**  
Single-Family Residential  
Vacant  
Commercial  
School





**Site Data**

**Tax Parcels:** 0005-00-093.05, 0005-00-078.00, 0005-00-089.01, 0005-00-089.00, 0005-00-076.00, 0005-00-077.00, 0005-00-093.04, 0005-00-092.00, 0005-00-091.03, 0005-00-083.00, 0005-00-091.00, 0005-00-075.01, 0005-00-075.00, 0005-00-079.01, & a portion of 0005-00-074.03

**Total Acreage:** up to 179.35 Acres  
**Senior Village:** up to 21 Acres  
**Residential Area:** up to 158.35 Acres

**Location:** Lancaster County, SC

**Zoning:**  
**Existing:** B-3 (General Commercial District)  
 R-15P (Moderate Density Residential/  
 Agricultural Panhandle District)  
**Proposed:** PDD-27

**Avondale Mixed Use District  
 Existing Features Summary**

Following is a summary of Existing Features for the proposed Avondale Mixed Use District/PDD Site. Information provided has been prepared and assembled using a streams/wetlands study, "ALTA Survey for Sinacori Builders" prepared by LDSI, dated July 21, 2015, and readily available public information sources including Lancaster County GIS, fema.gov, Google Earth, and other readily available sources in order to inventory the natural, manmade, and legal features of the site (as a part of the Master Plan Requirements - Section 13.12.4 of the Lancaster County Code of Ordinances). In addition to illustrating these features as they appear where the development is taking place, the use of adjoining properties has been noted on sheet 2 (Existing Features).

**Existing Natural Features:**

- a) **Wooded Areas:** The project area consists of forested land areas that are denoted by the legend on sheet 2 Existing Features. Typical overstory vegetation includes sweetgum (*Liquidambar styraciflua*), ironwood (*Carpinus caroliniana*), white oak (*Quercus alba*), and American sycamore (*Platanus occidentalis*). Common understory species found on site include Eastern red cedar (*Juniperus virginiana*), American holly (*Ilex opaca*), Christmas fern (*Polystichum acrostichoides*), ground cedar (*Diphasiastrum digitatum*), Japanese honeysuckle (*Lonicera japonica*), muscadine (*Vitis rotundifolia*), poison ivy (*Toxicodendron radicans*), and sticky willy (*Galium aparine*). These trees range in size, with sizes ranging from 2" - 30" in diameter.
- b) Based on the above mentioned public information sources, no orchards or agricultural groves are identified on site. The applicant is in the process of gathering additional information, including a boundary survey, to better understand and identify applicable features.
- c) Streams and Wetlands shown are based on preliminary information obtained from "Approximate Depiction of Waters and Wetlands", prepared by Hysman & Bandy, Inc., dated July 8, 2015. There does not appear to be floodplain on the property.

**Existing Manmade Features:**

- a) Vehicle accommodation areas include various driveways, unpaved paths, and partially paved circulation areas that are illustrated on sheet 2 (Existing Features). These features have been located based on available Lancaster County aerial imagery. There do not appear to be improved designated parking spaces on site. Driveway areas appear to be unimproved and wide enough to accommodate a single lane of traffic and have no apparent designated direction of travel. An exception exists on parcel 0005-00-078.00 where there is an existing quasi-industrial type business, which includes various scattered outdoor storage and unimproved vehicular areas. This site includes a large warehouse type building along with several small storage type structures.
- b) Through inspection of the above mentioned data, no streets, private improved roads, sidewalks, or other walkways (designated by surface material) were identified on site. The applicant is gathering additional information, including a boundary survey, to better understand the presence or absence of these features.
- c) Through inspection of the above mentioned data, it does not appear that curbs, gutters, curb inlets or curb cuts, drainage grates, or other improved storm water or drainage facilities (including manholes, pipes, and drainage ditches) were identified on site; however, natural historic unimproved drainage patterns exist, draining towards the center of the property. The applicant is gathering additional information, including a boundary survey, to better understand these features.
- d) Through inspection of the above mentioned data, it does not appear that public underground utility lines (including water, sewer, electric power, telephone, gas, cable, and television) exist on site. However, the applicant is gathering additional information, including a boundary survey, to better understand these features.
- e) Above ground utility lines clearly visible through Google Earth and Lancaster County aerial imagery have been illustrated on sheet 2 (Existing Features). Exact locations of these lines, any additional lines, and other utility facilities (including public fire hydrants) were not identified through an inspection of the above mentioned data. The applicant is gathering additional information, including a boundary survey, to better understand these features.
- f) Buildings and structures on site have been located using aerial imagery and vary in size ranging from approximately 300 SF to 8,000 SF. No signs were identified through an inspection of the above mentioned data sources.
- g) Through inspection of the above mentioned data sources, no exterior light fixtures or public solid waste collection areas and/or containers were discovered on site. The applicant is gathering additional information, including a boundary survey, to better understand these features.

**Existing Legal Features:**

- a) Two zoning designations currently exist on site: B3 and R15P. Zoning district lines are denoted on sheet 2 (Existing Features), per Lancaster County zoning map.
- b) Property lines have been drawn and dimensioned to scale, based on Lancaster County GIS resources, with a total site area consisting of +/- 179.35 Acres.
- c) Street right-of-way lines appear to coincide with property lines along primary street frontage. The applicant is gathering additional information, including a boundary survey, to better understand these features, as well as other easement lines.



P.O. Box 7030 3475 Lakemont Blvd.  
 Charlotte, NC 28241 Fort Mill, SC 29708  
 NC - 704.583.4949 SC - 803.802.2440  
 www.espassociates.com

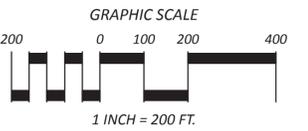
This drawing and/or the design shown are the property of ESP Associates, P.A. The reproduction, alteration, copying, or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action. ESP Associates, P.A.



**Avondale**

**Existing Features  
 Notes & Aerial**

PROJECT LOCATION Lancaster County, SC



PROJECT LOCATION	DO18.100
DRAWING NAME	PDD Master Plan.psd
DATE	July 1, 2015
DRAWN BY	GW
CHECKED BY	MK/PT

AGENCY / SUBMITTAL REVISION			
NO.	DATE	BY	REVISION
01	5-29-15	GW	omit parcel 0005-00-090.00, update tabular and project acreage
02	7-1-15	GW	revise development program (sheet 1 of 3)
03	8-3-15	GW	Planning Board conditions (7-21-15)
04	8-25-15	GW	revised PDD ordinance per staff comments (8-11-15)
05	11-2-15	GW	updated layout and tabular per discussions with staff (10-27-15)
06	11-11-15	GW	revised per staff comments (memo 11-6-15)
07	12-23-15	AB	Agency Comments (1st Reading 12-14-15)
08	7-01-16	ML	Revised Civic/Institutional /Park Acreage

