

Agenda

Highway Corridor Overlay District
Lancaster County Planning Department Open House
Del Webb Library – Indian Land, SC
December 18, 2013, 6:00-8:00 PM

I. Introduction

II. Purpose of Meeting

- A. Update on Highway Corridor Overlay District
- B. Introduce outline of proposed Highway Corridor Overlay District

III. Summarize Meetings To Date

- A. June 14th Community Open House
- B. September 5th County Council & Planning Commission Joint Meeting
- C. October 2nd Developer Open House
- D. October 21st County Council Workshop
- E. December 2nd County Council & Planning Commission Joint Meeting

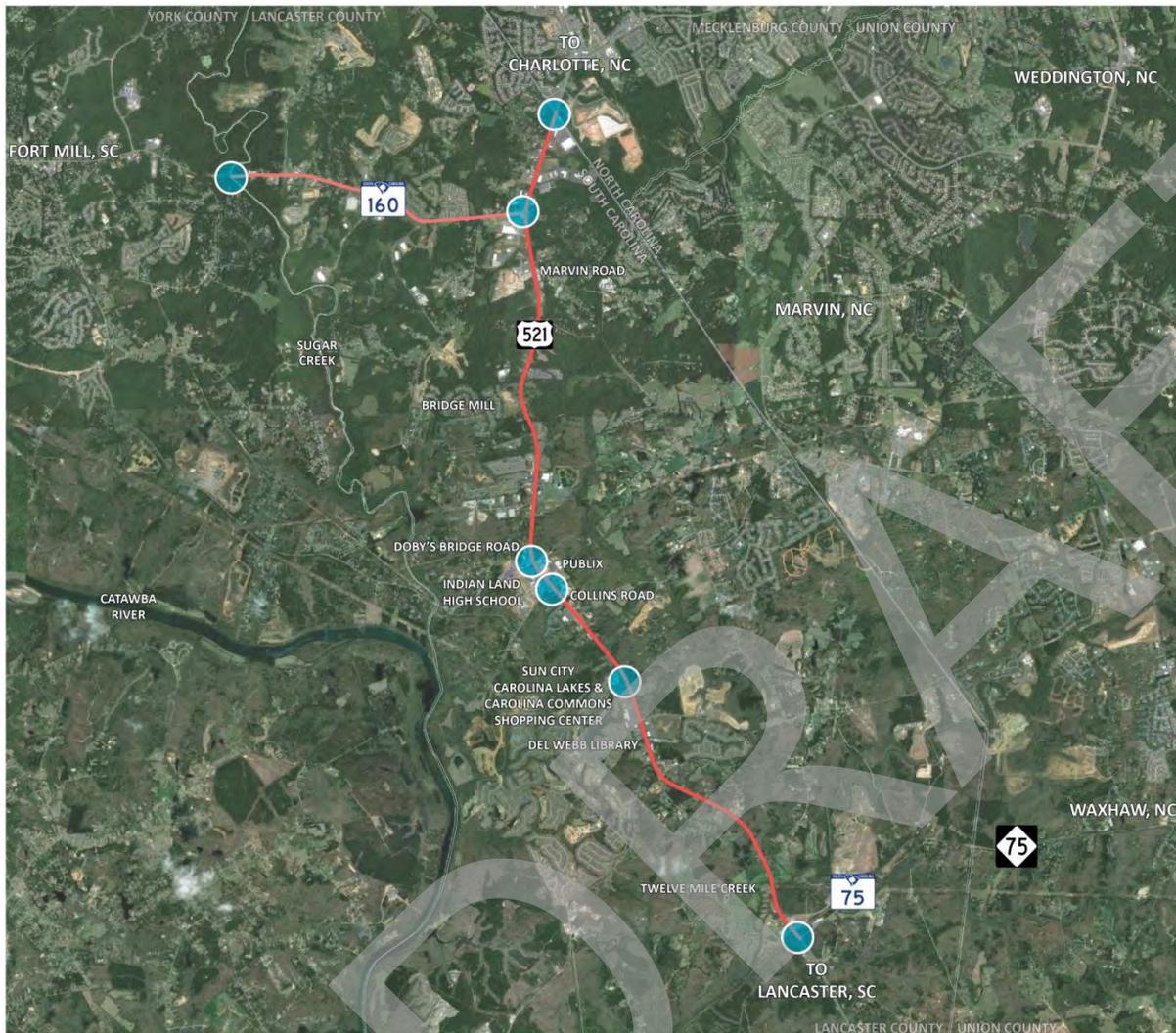
IV. Review Outline of Proposed Text Amendment

V. Schedule Moving Forward

- A. January 2014 Planning Commission Meetings – Discussion Item
- B. February 06, 2014 Planning Commission Workshop
- C. February 18, 2014 Planning Commission Public Meeting
- D. March/April 2014 County Council Meetings

VI. Conclusion





CORRIDOR OVERLAY

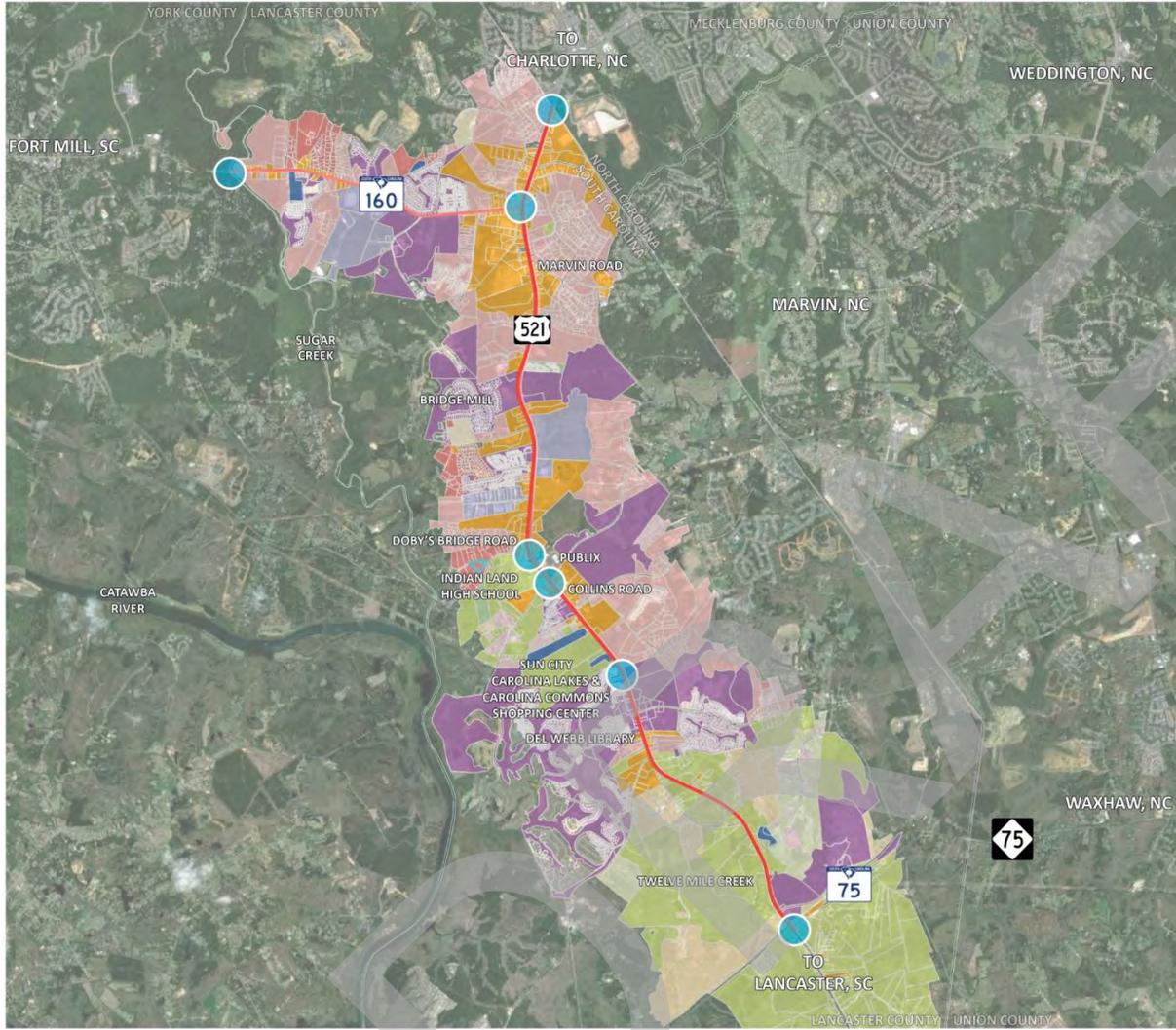
The **Panhandle Corridor Overlay District** is proposed along US Highway 521 from SC Highway 75 northward to the North/South Carolina state line, and along SC Highway 160 from US Highway 521 westward to the Lancaster/York county line.

-  US HIGHWAY/ROUTE 521 CORRIDOR; APPROXIMATELY 8.4 MILES
-  SC 160 CORRIDOR: APPROXIMATELY 2.7 MILES
-  SIGNIFICANT INTERSECTIONS/NODES

PANHANDLE CORRIDOR OVERLAY DISTRICT

LANCASTER COUNTY, SOUTH CAROLINA





ZONING MAP

ZONING DISTRICTS

R45	R15S	B1, B2, B3, B4
R30S	R15P	I1
R30P	MHP	MF
PDD		

PANHANDLE CORRIDOR OVERLAY DISTRICT

LANCASTER COUNTY, SOUTH CAROLINA



Case Studies

I. South Carolina Case Studies

A. Aiken County

1. Highway Corridor Overlay District

B. Anderson County

1. Highway Commercial District

C. Charleston County

1. Maybank Highway Corridor Overlay Zoning District
2. Mount Pleasant Overlay Zoning District
3. Folly Road Corridor Overlay Zoning District
4. Dorchester Road Corridor Overlay Zoning District
5. Ashley Scenic River Corridor Overlay Zoning District

D. Horry County

1. Highway 501 Overlay
2. Highway 504 Overlay
3. Highway 707 Overlay
4. Holmestown Road Overlay

E. Richland County

1. Corridor Redevelopment Overlay District

II. North Carolina Case Studies

A. Mooresville

1. Corridor Overlay District

B. Concord

1. Copperfield Boulevard Corridor Overlay

C. Huntersville

1. Highway Commercial District



Highway Corridor Overlay District Outline

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Proposed Section 2.1.5.7 The Highway Corridor Overlay District.

A. Purpose and Intent:

- To preserve and enhance corridors that serve as major gateways to Lancaster County.
- Provide standards for connectivity, aesthetic appearance and safety.
- To provide unified land development regulations that promote a sense of place and create consistency

B. District Boundaries:

- Applies to property parcels fronting or within one thousand (1,000) feet of the right-of-way of the following roads:
 1. US Highway 521 from SC Highway 75 northward to the NC/SC state line
 2. SC Highway 160 from US Highway 521 westward to the Lancaster/York county line.

C. Permitted Uses:

- Shall be those established for the underlying zoning district, as required by the UDO.

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D. Exceptions/Non-conforming Situations:

- Property zoned and used for a single-family residential use is exempt.
- Other development being lawfully established prior to adoption of this Ordinance is exempt.
- PDD developments being lawfully established prior to adoption of this Ordinance are exempt unless construction has yet to begin.
- Rezoning, renovation or expansion of an existing property may require compliance.

E. Design Review:

- All development reviews, as required by the UDO, shall apply.

F. General Requirements/Development Standards:

- **Building Placement:** Building shall share a frontage line with a street, square, or other similar open space. In general, the front façade of buildings shall be parallel to frontage property lines.
- **Building Height:** As required for the underlying zoning district, per the UDO.
- **Materials:** The use of vinyl, tin, metal and masonry block except split face/decorative masonry shall be prohibited. All sides of the building shall comply with this requirement, unless a side is not visible from any point on an adjoining road right-of-way.

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F. General Requirements/Development Standards (continued):

- **Building Placement:** Building shall share a frontage line with a street, square, or other similar open space. In general, the front façade of buildings shall be parallel to frontage property lines.
- **Sidewalks and Pedestrian Amenities:**
 1. Sidewalks and Connectivity:
 - Sidewalks shall be located to allow pedestrians to safely move from their vehicles to the building.
 - Sidewalks shall connect to existing pedestrian circulation of adjacent parcels.
 - Sidewalks shall be required on both sides of local streets.
 - Shared pedestrian and bicycle circulation shall be required adjacent to the corridor right-of-way.
 2. Pedestrian Amenities:
 - Green space and plazas required per designated square footage of commercial use.
 - Such spaces to be privately maintained, & may include seating, fountains, etc.
- **Open Space and Tree Preservation:** Existing trees above a designated DBH shall be preserved.

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G. Access Management:

▪ Curb Cuts and Parcel Access:

1. Parcels having two hundred (200) or more feet of corridor frontage shall be permitted (1) access point. Additional access points must be justified by a Traffic Impact Study and adhere to the SCDOT Access and Roadside Management Standards.
2. Access points for smaller parcels with no access to shared driveways shall be subject to SCDOT approval.
3. Existing median crossovers are to remain. When applicable, access to a parcel shall be aligned directly with existing median crossovers. Accesses that do not align directly must adhere to the SCDOT Access and Roadside Management Standards.
4. Traffic Impact Study Required for all parcels over (5) acres. The applicant is responsible for fees associated with this review.

▪ Connectivity, Consolidation of Access Points & Stub Outs:

1. Shared Driveways shall be required where practicable.
2. Adjoining parking lots serving non-residential buildings shall be interconnected.
3. Where an undeveloped adjacent parcel exists; a stub out, or easement for future stub out, shall be required to allow for connection to parking and/or shared driveways.

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H. Parking and Vehicular Access:

- **Off-street Parking:** Parking lots shall be located to the rear and/or side of the building.
 1. Side yard parking shall occupy no more than 45 percent of the primary frontage line and shall not be placed in an established side yard abutting an intersecting street.
 2. Where dimensions of existing lots restrict parking behind buildings, the limitations on side yard parking may be modified by the planning commission.
 3. Uninterrupted areas of parking lot shall be limited in size. Large parking lots shall be broken by buildings and/or landscape features.
 4. Parking lots shall be designed to allow pedestrians to safely move from their vehicles to the building.
- **On-street Parking:** SCDOT requirements shall apply.
- **Parking Count and Dimension Requirements:** As required by the UDO.
- **Off-street Loading Spaces:** As required by the UDO. Off-street loading spaces shall be screened from residential use.
- **Driveway/Street Standards:**
 1. SCDOT requirements shall apply.
 2. Curb and Gutter shall be required on all newly constructed streets and parking lots.
 3. Interconnectivity shall be required.

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I. Sign Regulation:

- **Permitted Signage:** Ground Monument Signs shall be required.
 1. Maximum Height: No more than 25’.
 2. Maximum number of signs: One (1) sign allowed per corridor frontage.
 3. Maximum number of faces: Two (2) faces are allowed.
 4. Internal illumination is permitted.
- **Prohibited Signage:** Pole, feather, inflatable, and other similar signs shall be prohibited in this district. Flashing, moving and neon gas lighting is also prohibited.
- **Development/Directional Signage:** Shall compliment the structure(s)
- Other regulations as set forth in REVISED Chapter 10 of the UDO shall apply.

J. Lighting Regulation:

- Mast Arm Traffic Lights shall be required.
- Parking lot lighting shall be on standards ranging from 8’ to 25’ in height.
- The maximum illumination at the edge of the property line shall be:
 1. ½ foot candle adjacent to residential zoning.
 2. Five foot candles adjacent to nonresidential zoning.
 3. Five foot candles adjacent to a street.
- All other requirements, as set forth in the UDO shall apply.

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K. Landscaping, Buffer Yard, and Screening Requirements:

- **Right-Of-Way Perimeter Buffer:** Landscaping shall be provided along corridor frontage within the first 25 feet as measured from the edge of the road right-of-way.
 1. The following is required per 100 feet of corridor frontage:
 - Three (3) canopy trees equally spaced where possible or five (5) understory trees equally spaced where overhead utility lines exist. Trees to be planted shall have a minimum caliper of 3 inches at installation.
 2. Plants may not impede traffic safety or obscure traffic signals, signs, etc.
 3. Low maintenance plants shall be used where practicable.
 4. Plants must compliment the structure.
 5. Waivers are permissible for adequate natural, undisturbed buffer.
 6. No impervious surface shall be allowed in this area except for driveways connecting to the point of ingress and egress, required sidewalks/shared pathways, boundary fences or walls.
 7. There shall be no display of merchandise for sale within this area.
- **Buffer Yards:** As set forth in the UDO.
 1. Chain link fencing is not permitted in this district.
 2. Wall materials shall comply with general material requirements of this section.

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K. Landscaping, Buffer Yard, and Screening Requirements (continued):

- **Screening:** Containers, Dumpsters, Utility boxes, and similar structures must be screened from view from a public right-of way using an opaque screen.
 1. Roof top mechanical equipment shall also be screened from view from a public right-of way.
 2. Chain link fencing is not permitted.
 3. Wall materials shall comply with general material requirements of this section.
- **Median Landscaping:** Median improvements are required as allowed by SCDOT.
- **Parking Lot Landscaping and Screening:**
 1. Perimeter Planting: 8' Minimum width planting area required around all parking.
 2. Continuous evergreen shrub screen required. Shrubs shall be 36" height at installation, spaced no more than 6' on center. Shrubs shall have a mature height of 6'. A masonry wall (3-6' above finished grade) may be substituted where practicable. Screen may be penetrated for ingress/egress.
 3. Large Maturing Canopy Trees shall line the perimeter of the parking lot and shall be spaced no more than 40' on center. Trees to be planted shall have a minimum caliper of 2.5 inches and shall be 8-10 feet in height at installation. Small maturing trees may be used where overhead utilities exist and shall be no more than 30' on center.

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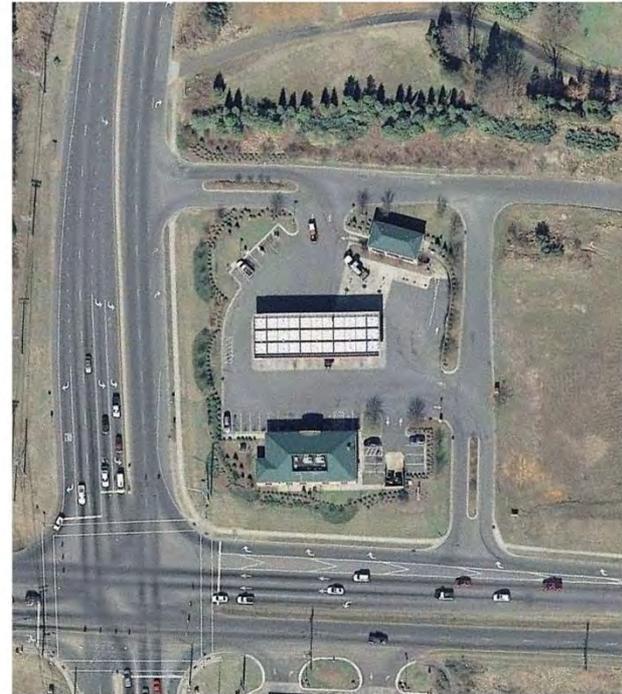
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K. Landscaping, Buffer Yard, and Screening Requirements (continued):

▪ Parking Lot Landscaping and Screening (continued):

1. In a parking area with more than one (1) double bay of parking spaces, no more than ten (10) spaces are allowed in a row without a tree planting area. Tree planting areas within parking lots shall be at least eight feet wide, a minimum of 200 square feet in area, edged with a curb at least six inches in height. Each tree planting area shall be planted with one (1) large maturing canopy tree, having a minimum caliper of 2.5 inches and shall be 8-10 feet in height at installation. Small maturing trees may be used where overhead utilities exist and shall be no more than 30' on center.
2. Lots with less than five (5) spaces shall not be subject to this provision.
3. Irrigation Requirement (*To be determined*).
4. Completion and Maintenance Requirement (*To be determined*).

L. Other Zoning Requirements:



BUILDING PLACEMENT

PANHANDLE CORRIDOR OVERLAY DISTRICT

LANCASTER COUNTY, SOUTH CAROLINA





SITE DESIGN & BUILDING PLACEMENT

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SITE DESIGN & BUILDING PLACEMENT

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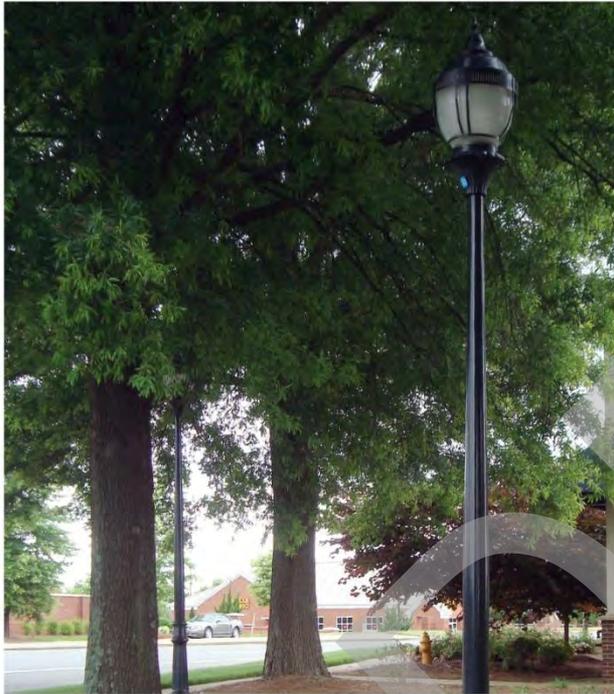


SIGNAGE

PANHANDLE CORRIDOR OVERLAY DISTRICT

LANCASTER COUNTY, SOUTH CAROLINA





LIGHTING

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LANDSCAPING & BUFFERS

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MATERIALS

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LANCASTER COUNTY, SOUTH CAROLINA





CONNECTIVITY & ACCESS MANAGEMENT

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STREETScape STANDARDS

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LANCASTER COUNTY, SOUTH CAROLINA





SITE FURNISHINGS

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