



Know what's below.  
Call before you dig.

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LANCASTER WATER AND SEWER DISTRICT SPECIFICATIONS.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

# TWO CAPITAL INDIAN LAND

## LANCASTER COUNTY, SOUTH CAROLINA

TWO CAPITAL PARTNERS  
3445 PEACHTREE RD., SUITE 465

P: 404.262.2661



LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208  
704.343.0608  
www.drgp.com

# PRELIMINARY SITE PLAN

### GENERAL NOTES:

1. SURVEY INFORMATION OBTAINED BY CAROLINA SURVEYORS INC. IN JANUARY 2016.
2. ARCHITECTURAL DIMENSIONS TO BE VERIFIED BY SURVEYOR. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. SURVEYOR SHALL REPORT ANY ENCROACHMENTS OR DISCREPANCIES GENERATED BY THE SITE PLAN AGAINST ANY SITE DEVELOPMENT REQUIREMENTS SPECIFIED BY THE SITE PLAN TO THE OWNER, LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO ANY ACTUAL CONSTRUCTION.
4. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
5. ALL ROAD IMPROVEMENTS, DRIVEWAY CONNECTIONS AT FORT MILL HIGHWAY (SC 160) AND CALVIN HALL ROAD ARE TO BE COORDINATED WITH THE LANCASTER COUNTY ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
6. DEVELOPER WILL PROVIDE STREET SIGNS PER LANCASTER COUNTY ORDINANCE (9" SIGNS ONLY)
7. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
8. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
9. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
10. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
11. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
12. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE AND ANY STRUCTURES AND/OR OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.
13. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINAGE PIPE INSTALLED WITHIN EXISTING OR PROPOSED PUBLIC STREET RIGHT-OF-WAY MUST BE APPROVED BY THE COUNTY'S INSPECTOR PRIOR TO ANY BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE COUNTY INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
14. THE DEVELOPER SHALL MAINTAIN EACH STREAM, CREEK, OR BACKWASH CHANNEL IN AN UNOBSTRUCTED STATE AND SHALL REMOVE FROM THE CHANNEL AND BANKS OF THE STREAM ALL DEBRIS, LOGS, TIMBER, JUNK AND OTHER ACCUMULATIONS.
15. ANY BUILDING WITHIN THE 100+1 BUILDING RESTRICTION FLOODLINE IS SUBJECT TO THE RESTRICTIONS OF LANCASTER COUNTY.
16. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS COMMUNITY ENCROACHMENT (0.1') FLOODWAY ENCROACHMENT AREA IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS OF LANCASTER COUNTY.
17. ALL OPENINGS (E.G., DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON PROJECT SITE SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS.)
18. PE SEALED SHOP DRAWINGS FOR RETAINING WALL MUST BE SUBMITTED TO LANCASTER COUNTY BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
19. "AS-BUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE COUNTY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE COUNTY SUBDIVISION ORDINANCE.
20. PRIOR TO CO, SURVEYOR SEALED AS-BUILT DRAWINGS OF UNDERGROUND DETENTION SYSTEMS MUST BE PROVIDED.
21. NONSTANDARD ITEMS (IE: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE (SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION) BEFORE INSTALLATION.
22. PRIOR TO PLAT RECORDATION, OFFSITE R/W AND/OR CONSTRUCTION EASEMENTS ARE REQUIRED TO BE OBTAINED ACCORDING TO THE GUIDELINES OF THE "OFFSITE R/W ACQUISITION PROCESS". THESE NEEDED R/W AND CONSTRUCTION LIMITS ARE CLEARLY SHOWN ON THE ROADWAY IMPROVEMENT PLAN.
23. THE DEVELOPER SHALL CONTACT THE SCDOT TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT (IF APPLICABLE). 60 - 90 DAYS WILL BE REQUIRED TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR ALL RELATED RELOCATION COST AND/OR ANY REPAIR COST CAUSED BY THE CONTRACTOR/DEVELOPER.
24. PIPE SYSTEMS AND/OR CHANNELS LOCATED WITHIN PUBLIC DRAINAGE EASEMENTS ARE THE MAINTENANCE RESPONSIBILITY OF THE INDIVIDUAL PROPERTY OWNER.
25. ALL CONSTRUCTION TO CONFORM TO LANCASTER COUNTY LAND DEVELOPMENT STANDARDS.
26. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE COUNTY FIRE MARSHAL DURING THE BUILDING PERMIT PROCESS.
27. ALL STORM DRAINAGE SYSTEMS SHALL MEET SCDHEC STANDARDS PER STORMWATER MANAGEMENT AND SEDIMENTATION REDUCTION.
28. THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL APPROVED BY SCDHEC. A LETTER FROM SCDHEC INDICATING THAT THE SWPPP HAS BEEN APPROVED MUST BE SUBMITTED TO THE LANCASTER COUNTY PLANNING DEPT. PRIOR TO ISSUANCE OF LAND DISTURBANCE PERMIT OR ANY LAND CLEARING ACTIVITY.
29. NO BURNING OF VEGETATIVE DEBRIS ON SITE. IT MUST BE MULCHED OR HAULED AWAY.
30. ANY FIRE HYDRANT NOT DEEMED PUBLIC BY LCWSD MUST BE PAINTED SILVER AND WILL NEED TO BE MAINTAINED BY DEVELOPMENT.
31. NO SPEED BUMPS, SPEED TABLES SPEED HUMPS OR OTHER LIKE DEVICES ARE ALLOWED.
32. KNOX BOXES WILL BE REQUIRED ON ALL BUILDINGS WITH FIRE ALARMS.
33. KNOX PLUGS WILL BE REQUIRED FOR ALL FDC'S.
34. IF THE COMMUNITY OR IF ANY PORTION OF THE DEVELOPMENT IS GATED, THE COUNTY ORDINANCE REQUIRES INSTALLATION OF A KNOX KEY SWITCH AND A CLICKCENTER SYSTEM FOR EMERGENCY VEHICLE ACCESS.
35. ANY SIGNAGE, RETAINING WALLS OVER 4 FT. HEIGHT, FENCES GREATER THAN 7 FT. HEIGHT, CLUBHOUSE, MAIL KIOSK STRUCTURE, PAVILION, SWIMMING POOL ARE PERMITTED SEPARATELY.

### ENGINEER'S NOTES:

1. CONTRACTOR SHALL NOTIFY THE ENGINEER OF WORK 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INTERPRETATIONS FOR ANY QUESTIONS REGARDING THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK OR ORDERING OF MATERIALS AND SHALL BEAR THE COST OF ALL REWORK IF NOT PROPERLY COORDINATED.
3. CONTRACTOR SHALL PROVIDE ENGINEER RECORD DRAWING INFORMATION FROM A REGISTERED LAND SURVEYOR UPON COMPLETION OF CONSTRUCTION.
4. CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY EXCAVATION PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY
5. THE ENGINEER OF WORK SHALL NOT BE RESPONSIBLE FOR THE ENFORCEMENT OF SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY STANDARDS, LAWS AND REGULATIONS.
6. CONTRACTOR SHALL ADJUST ALL PROPOSED AND EXISTING FACILITIES TO FINAL GRADE.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE FIELD DATA AND THE INFORMATION SHOWN HEREON. ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY WORK DONE WITHOUT PROPER NOTIFICATION AND COORDINATION.
8. THE ENGINEER PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO IMPLEMENTATION.
9. PRIVATE WATER AND SANITARY SEWER SYSTEMS SHALL BE TESTED IN ACCORDANCE WITH S.C.D.H.E.C. REGULATIONS IN THE PRESENCE OF THE ENGINEER PRIOR TO ACTIVATION OF FACILITIES.
10. EXISTING SANITARY SEWER AND WATER SYSTEM SHOWN PER PROVIDED SURVEY AND LANCASTER COUNTY REFERENCE DRAWINGS. EXISTING PUBLIC UTILITY INFORMATION IS SHOWN FOR REFERENCE ONLY AND EXISTING SIZES, INVERTS AND LOCATIONS SHALL BE FIELD VERIFIED.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL SUBSTRUCTURES, WHETHER SHOWN HEREON OR NOT, AND PROTECT FROM DAMAGE DURING INSTALLATION. THE EXPENSE OF REPAIR OR REPLACEMENT OF SAID STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.
12. A LICENSED UTILITY CONTRACTOR WILL INSTALL THE TAPS AND METERS. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING THE TAPS AND METERS TO CMUD STANDARDS AND REGULATIONS.
13. SANITARY YARD HYDRANTS SHALL NOT BE 'STOP AND DRAIN', 'STOP AND WASTE', OR 'WEEP HOLE' TYPE HYDRANTS.
14. IF CONTRACTOR OPTS TO INSTALL PRECAST STRUCTURES, CONTRACTOR SHALL BE REQUIRED TO VERIFY RIM ELEVATIONS AND LAYOUT OF ALL PIPES, INCLUDING SIZE AND INVERTS OF EXISTING FACILITIES, PRIOR TO THE ORDERING OF MATERIALS.
15. IT SHALL BE THE RESPONSIBILITY OF THE INSTALLER TO ADJUST ALL PRECAST STRUCTURES TO FINISHED GRADE IN ACCORDANCE WITH AGENCY SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS. NO ADDITIONAL PAYMENT WILL BE MADE FOR ADJUSTING FACILITIES TO FINISHED GRADE.
16. FIRE HYDRANTS ARE TO BE 10' CLEAR OF ANY OBSTRUCTIONS.
17. FDC LOCATIONS SHALL BE IN ACCORDANCE W/ LANCASTER COUNTY FIRE DEPARTMENT REQUIREMENTS.
18. FIRE SPRINKLER SIZING AND FDC CONNECTIONS TO BE SIZED AND LOCATED PER THE RECOMMENDATIONS OF THE FIRE SPRINKLER CONSULTANT. ALL REFERENCES SHOWN HEREON ARE FOR SCHEMATIC PURPOSES ONLY.

### SITE DATA

TAX MAP NO: 0005-00-090.01  
REZONING PETITION #: RZ-015-011  
MF (MAX 8 UNITS/ ACRE)  
EXISTING USE: UNDEVELOPED/UNIMPROVED,  
SITE AREA: 39.24 AC.  
PROPOSED USE: MULTI FAMILY  
PROPOSED UNITS: 313 UNITS PROPOSED  
DENSITY: 7.97 UNITS / ACRE

TAX MAP NO: 0008-00-005.01, 0008-00-006.02, 0008-00-006.01, 0008-00-006.00  
ZONING: B2  
EXISTING USE: SINGLE FAMILY, UNDEVELOPED/UNIMPROVED, COMMERCIAL  
SITE AREAS: 3.851 TOTAL (1.047 AC., 0.415 AC., 0.868 AC., 1.521 AC.)

OVERALL TOTAL AREA: 43.091 AC.  
PARKING REQUIRED: 1.5 SPACES FOR EACH UNIT  
1.5 X 313 = 470 SPACES MINIMUM  
PARKING PROVIDED: 568 SPACES (1.81 SPACES EACH UNIT)  
366 REGULAR SPACES  
15 ACCESSIBLE SPACES  
138 GARAGE SPACES  
3 ACCESSIBLE GARAGE SPACES  
66 PARALLEL SPACES

FRONT SETBACK (INT.): 20' FROM BACK OF CURB  
FRONT SETBACK (INT.): 20' FROM CENTERLINE (SECTION 5.4.1A)  
REAR & SIDE SETBACK (INT.): 20'  
REAR & SIDE SETBACK (EXT.): 25' FROM R.O.W.  
PERIMETER BUFFER YARD: 20' TYPE 2

### SITE ACCESSIBILITY NOTES

1. ALL BUILDINGS WITHIN THE BOUNDARY OF THIS SITE, UNLESS OTHERWISE STATED AS EXEMPT, SHALL HAVE "ACCESSIBLE ROUTES" AS REQUIRED THAT CONFORM TO THE REQUIREMENTS OF "THE AMERICANS WITH DISABILITIES ACT", "FAIR HOUSING STANDARDS", ICC ANS I 117.1-209 AND GOVERNING STATE HANDICAP CODE STANDARDS.

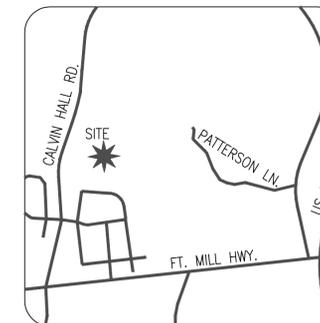
THESE STANDARDS FOR ACCESSIBILITY INCLUDE, BUT ARE NOT LIMITED TO:

- MAXIMUM WALK SLOPE = 1:20  
MAXIMUM RAMP SLOPE = 1:12 WITH RAILING  
MAXIMUM CROSS SLOPE = 1/4" PER FOOT (2%)  
ALL WALKS TO BE BROOM FINISHED CONCRETE UNLESS OTHERWISE SPECIFIED ON THESE DRAWINGS  
MAXIMUM ACCESSIBLE ROUTE LENGTH = 200'

2. THE PAVEMENT SLOPE WITHIN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
3. CONTRACTOR TO CONTACT DESIGN RESOURCE GROUP FOR ANY VARYING SITE CONDITIONS OR DISCREPANCIES AFFECTING SITE ACCESSIBILITY REQUIREMENTS.

ADDITIONAL ACCESSIBLE ROUTE NOTES FOR ACCESSIBILITY COMPLIANCE WITH ICC/ANSI A117.1-2009, AND 2010 ADA STANDARDS.

1. PROTRUDING OBJECTS ON CIRCULATION PATHS WITHIN COMMON USE AREAS TO COMPLY WITH ANS 2009 SECTION 307, INCLUDING:
  - a. PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FLOOR SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH. EXCEPTIONS INCLUDE HANDRAILS, DOOR CLOSERS, AND DOOR STOPS.
  - b. POST MOUNTED OBJECTS ON POSTS OR PYLONS SHALL BE PERMITTED TO OVERHANG 4" MAXIMUM WHERE MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FLOOR. OBJECTS ON MULTIPLE POSTS OR PYLONS WHERE THE CLEAR DISTANCE BETWEEN THE POSTS OR PYLONS IS GREATER THAN 12" SHALL HAVE THE LOWEST EDGE OF SUCH OBJECT EITHER 27" MAXIMUM OR 80" MINIMUM ABOVE THE FLOOR.
  - c. REDUCED VERTICAL CLEARANCE: GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE OBJECT PROTRUSION IS BEYOND THE LIMITS ALLOWED BY SECTIONS 307.2 AND 307.3, AND WHERE THE VERTICAL CLEARANCE IS LESS THAN 80" ABOVE THE FLOOR. THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE 27" MAXIMUM ABOVE THE FLOOR.
2. PROTRUDING OBJECTS ON CIRCULATION PATHS WITHIN PUBLIC USE AREAS TO COMPLY WITH 2010 ADA SECTION 307, INCLUDING:
  - a. 2010 ADA SECTION 307.2: OBJECTS PROJECTING FROM WALLS
  - b. 2010 ADA SECTION 307.4: MINIMUM CLEAR HEADROOM
3. FLOOR AND GROUND SURFACES IN COMMON USE AREAS SHALL BE STABLE, FIRM, AND SLIP RESISTANT AND SHALL COMPLY WITH ANS 2009 SECTIONS 302.
4. FLOOR AND GROUND SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES WITH PUBLIC USE AREAS SHALL BE STABLE, FIRM, AND SLIP-RESISTANT AND SHALL COMPLY WITH 2010 ADA SECTION 302.
5. CHANGES IN LEVEL IN COMMON USE AREAS SHALL COMPLY WITH ANS 2009 SECTION 303, INCLUDING:
  - a. ANS 2009 SECTION 303.2: VERTICAL
  - b. ANS 2009 SECTION 303.3: BEVELED
  - c. ANS 2009 SECTION 303.4: RAMPS
6. CHANGES IN LEVEL ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES WITH PUBLIC USE AREAS SHALL COMPLY WITH 2010 ADA SECTION 303, INCLUDING:
  - a. 2010 ADA SECTION 303.2: VERTICAL
  - b. 2010 ADA SECTION 303.3: BEVELED
  - c. 2010 ADA SECTION 303.4: RAMPS
7. IF TREES OR OTHER PLANTING OVERHANG ALONG THE CIRCULATION ROUTES AT THE SIDEWALK WITHOUT PROTECTION AT 27" A.F.F. OR LOWER, ASSURE THEY DO NOT EXTEND GREATER THAN 4" INTO CIRCULATION ROUTE AT A HEIGHT OF 80" ABOVE GRADE OR LOWER. (1986 ANS, SECTION 4.4.1)
8. THE CONTROLS AT ANY ADDITIONAL COMMON USE ELEMENT SUCH AS THE GATE HARDWARE, FIRE PIT, POOL SHOWER, ETC. WHICH ARE INTENDED TO BE USED BY THE RESIDENTS AND THEIR GUESTS ARE LOCATED ON AN ACCESSIBLE ROUTE, WITHIN THE REQUIRED REACH RANGE OF 15"-48" A.F.F. AND ARE OPERABLE WITH ONE HAND USING 5LB MAXIMUM PRESSURE WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST (1986 ANS, SECTION 4.25 & ANS 2009, SECTION 308)



VICINITY MAP  
(NOT TO SCALE)

### CONSULTANTS:

DEVELOPER: TWO CAPITAL PARTNERS  
3445 PEACHTREE RD., SUITE 465  
ATLANTA GA, 30326  
404.262.2661

ARCHITECT: NILES BOLTON ASSOCIATES  
3060 PEACHTREE ROAD NW  
SUITE 600  
ATLANTA, GA 30305  
404-365-7600

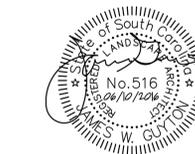
LANDSCAPE ARCH.: DESIGN RESOURCE GROUP, PA  
2459 WILKINSON BOULEVARD  
SUITE 200  
CHARLOTTE, NC 28208  
704.343.0608

CIVIL ENGINEER: DESIGN RESOURCE GROUP, PA  
2459 WILKINSON BOULEVARD  
SUITE 200  
CHARLOTTE, NC 28208  
704.343.0608

SURVEYOR: CAROLINA SURVEYORS INC.  
P.O. BOX 267  
PINEVILLE NC, 28134  
889.7601

### SHEET SCHEDULE

CO.00	COVER SHEET
C1.00	SURVEY
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
C2.02	SITE PLAN
C2.03	SITE PLAN
C2.04	SITE PLAN
C2.05	ACCESSIBLE ROUTE PLAN
C5.00	OVERALL UTILITY PLAN
C5.01	UTILITY PLAN
C5.02	UTILITY PLAN
C5.03	UTILITY PLAN
C6.00	REQUIRED PLANTING PLAN
C6.01	REQUIRED PLANTING PLAN
C6.02	REQUIRED PLANTING PLAN
C6.03	REQUIRED PLANTING PLAN
C7.00	CALVIN HALL ROAD ISD PLAN AND PROFILE
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	SITE DETAILS
C8.03	SITE DETAILS
C9.00	UTILITY DETAILS
C9.01	UTILITY DETAILS



### PRELIMINARY SITE PLAN

TWO CAPITAL INDIAN LAND  
LANCASTER COUNTY, SOUTH CAROLINA

TWO CAPITAL PARTNERS  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2661

### COVER SHEET



PROJECT #: 507-002  
DRAWN BY: DK  
CHECKED BY: SK

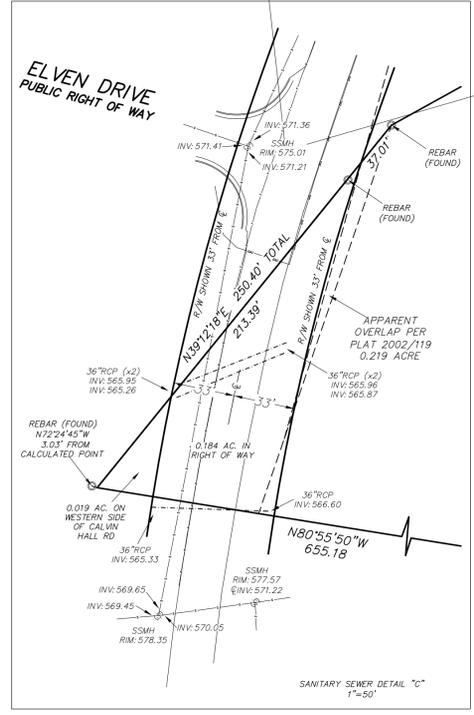
JUNE 10, 2016

REVISIONS:

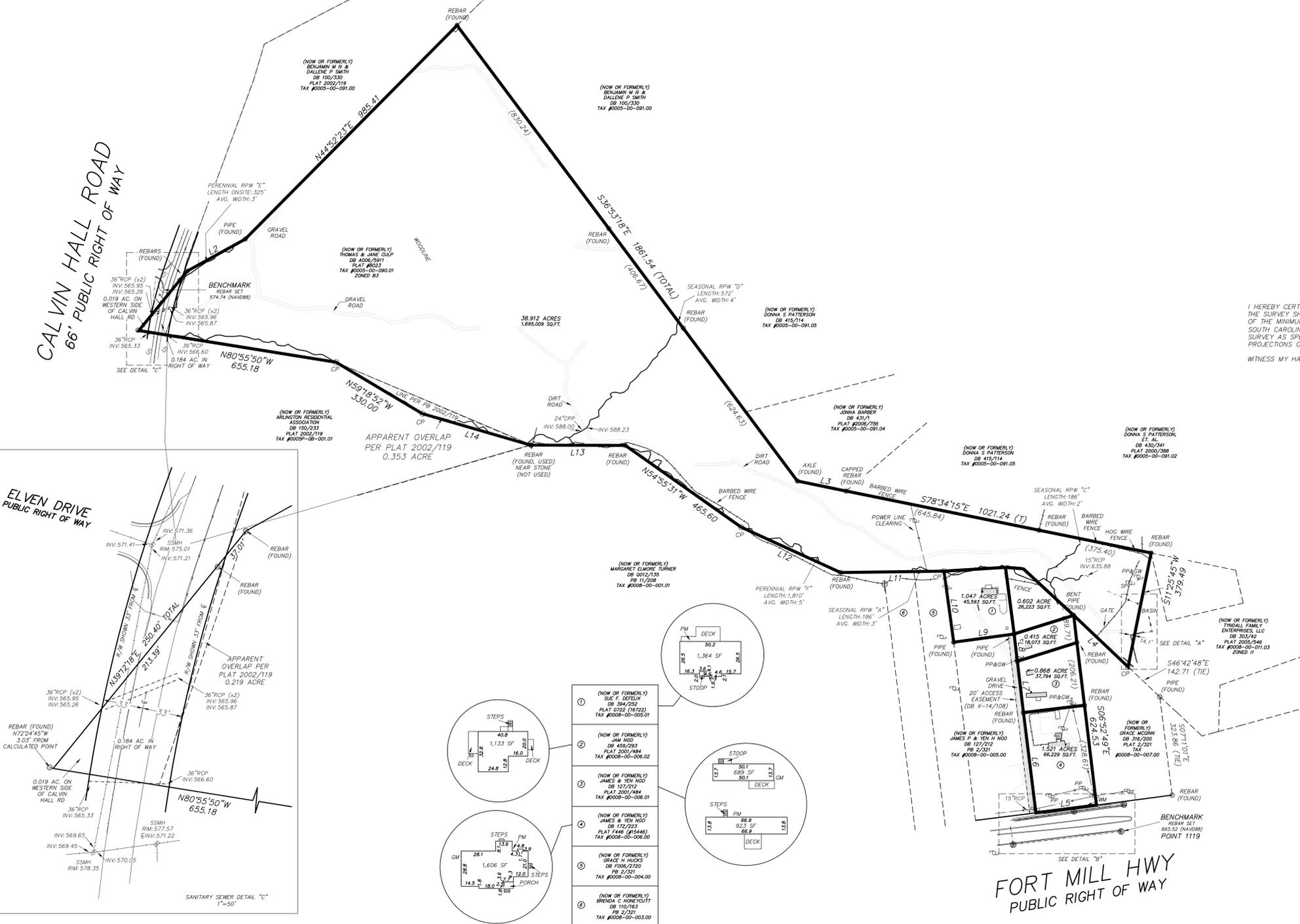
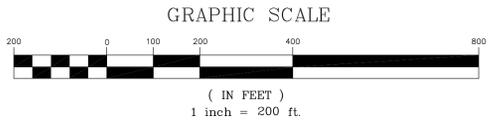
CO.00



**CALVIN HALL ROAD**  
66' PUBLIC RIGHT OF WAY



LINE	BEARING	LENGTH
L1	N39°12'14"E	250.40
L2	N61°12'14"E	217.76
L3	S78°25'02"E	163.12
L4	N46°42'48"W	245.44
L5	S82°47'00"W	200.48
L6	N07°07'09"W	329.86
L7	N06°47'03"W	168.92
L8	N06°48'05"W	89.97
L9	S82°13'14"W	200.23
L10	N07°49'44"W	234.34
L11	S89°15'12"W	339.34
L12	N65°35'32"W	357.97
L13	N89°52'05"W	310.05
L14	N73°53'22"W	370.18

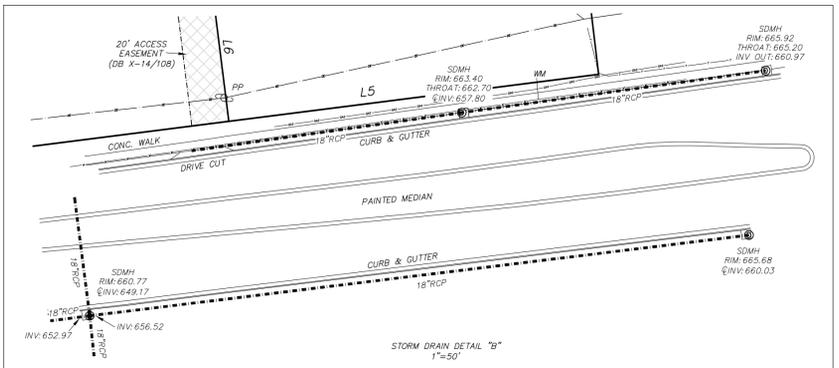
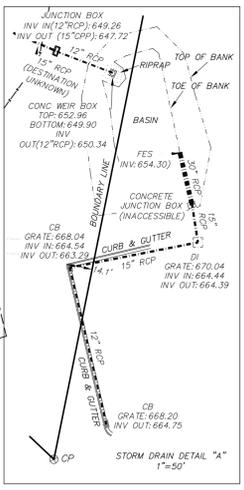


- ① (NOW OR FORMERLY) SUE F. ODELUK DB 394/262 PLAT 5722 (18723) TAX #0008-00-003.01
- ② (NOW OR FORMERLY) JAM N02 DB 450/293 PLAT 5722 (18723) TAX #0008-00-006.02
- ③ (NOW OR FORMERLY) JAMES & YEN N02 DB 127/212 PLAT 2001/444 TAX #0008-00-006.01
- ④ (NOW OR FORMERLY) JAMES & YEN N02 DB 172/283 PLAT 1446 (85446) TAX #0008-00-006.00
- ⑤ (NOW OR FORMERLY) GRACE H. HUCKS DB F005/220 PB 2/121 TAX #0008-00-004.00
- ⑥ (NOW OR FORMERLY) BRENDA C. HONEYCUTT DB 110/163 PB 2/121 TAX #0008-00-003.00

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO, THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

WITNESS MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

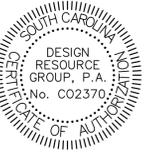
HUGH E. WHITE, JR. PLS #93258



DATE	REVISIONS:	SCALE: 1" =
	2015\B\T\CAL	
	2015\C\CALV	
	DRAWN BY: NI	
	CHECKED BY:	
	FIELD WORK:	
	JANUARY 20.	

**CAROLINA SURVEYORS, INC.**  
P.O. BOX 267 PINEVILLE, N.C. 28134 - 0267  
HUGH E. WHITE, JR., N.C.R.S. & S.C.R.S. 889 - 7801  
CERTIFICATE OF AUTHORIZATION N.C.C-1242 S.C. 888

A BOUNDARY & TOPOGRAPHICAL SURVEY SHOWING PROPERTY ON  
**CALVIN HALL ROAD**  
(NEAR THE INTERSECTION OF ELVEN DRIVE)  
SURVEYED FOR: TWO CAPITAL PARTNERS  
AREA: 43.365 ACRES  
INDIAN LAND, LANCASTER COUNTY, SOUTH CAROLINA

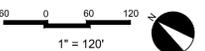


PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
 LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
 3445 PEACHTREE RD., SUITE 465  
 ATLANTA, GA 30326  
 404.262.2681

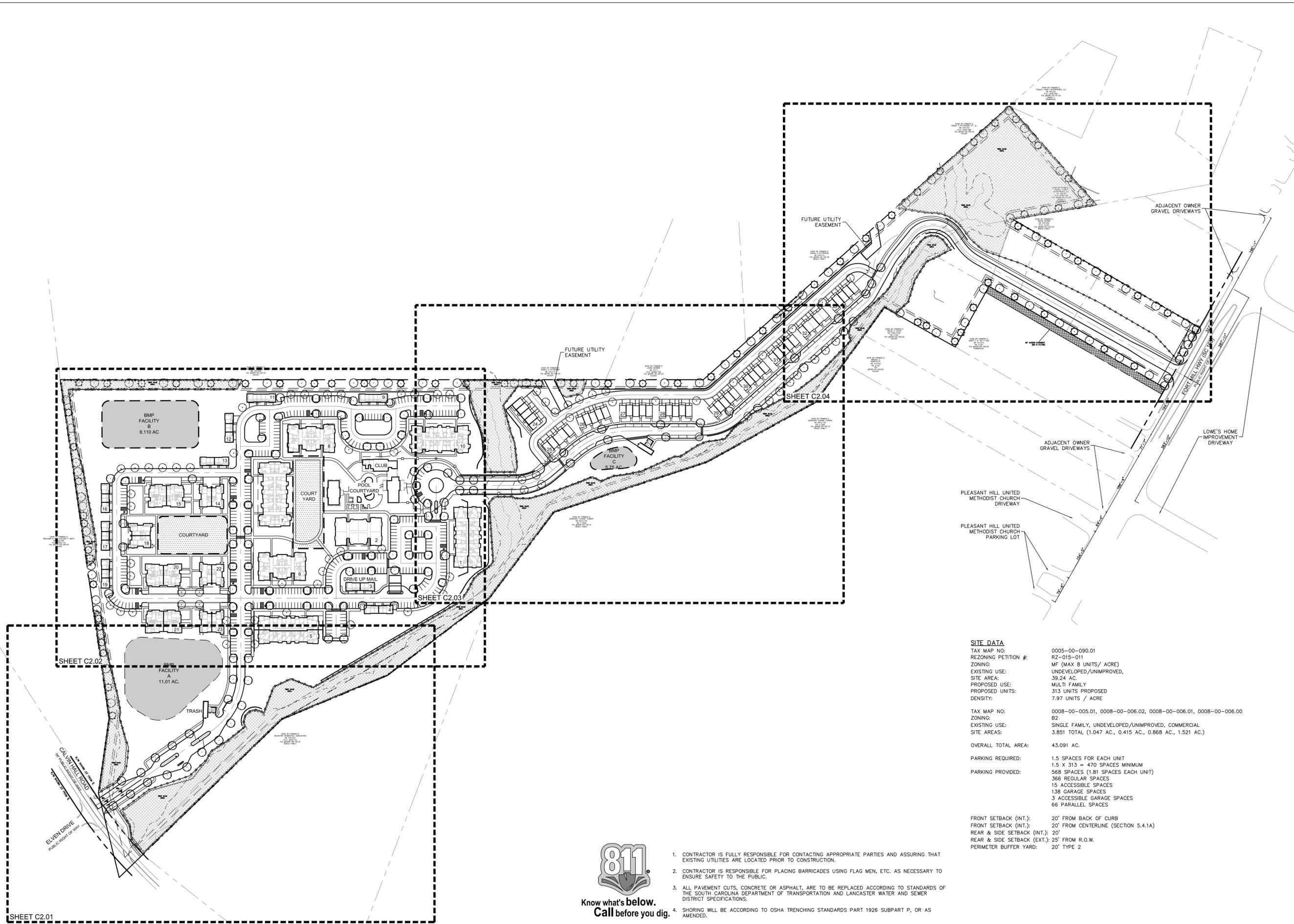
**OVERALL  
 SITE PLAN**



PROJECT #: 507-002  
 DRAWN BY: DK  
 CHECKED BY: SK

JUNE 10, 2016

REVISIONS:



**SITE DATA**

TAX MAP NO:	0005-00-090.01
REZONING PETITION #:	RZ-015-011
ZONING:	MF (MAX 8 UNITS/ ACRE)
EXISTING USE:	UNDEVELOPED/UNIMPROVED.
SITE AREA:	39.24 AC
PROPOSED USE:	MULTI FAMILY
PROPOSED UNITS:	313 UNITS PROPOSED
DENSITY:	7.97 UNITS / ACRE
TAX MAP NO:	0008-00-005.01, 0008-00-006.02, 0008-00-006.01, 0008-00-006.00
ZONING:	B2
EXISTING USE:	SINGLE FAMILY, UNDEVELOPED/UNIMPROVED, COMMERCIAL
SITE AREAS:	3.851 TOTAL (1.047 AC., 0.415 AC., 0.868 AC., 1.521 AC.)
OVERALL TOTAL AREA:	43.091 AC.
PARKING REQUIRED:	1.5 SPACES FOR EACH UNIT 1.5 X 313 = 470 SPACES MINIMUM
PARKING PROVIDED:	568 SPACES (1.81 SPACES EACH UNIT) 366 REGULAR SPACES 15 ACCESSIBLE SPACES 138 GARAGE SPACES 3 ACCESSIBLE GARAGE SPACES 66 PARALLEL SPACES
FRONT SETBACK (INT.):	20' FROM BACK OF CURB
FRONT SETBACK (EXT.):	20' FROM CENTERLINE (SECTION 5.4.1A)
REAR & SIDE SETBACK (INT.):	20'
REAR & SIDE SETBACK (EXT.):	25' FROM R.O.W.
PERIMETER BUFFER YARD:	20' TYPE 2

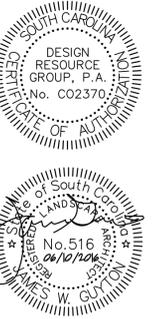


**Know what's below.  
 Call before you dig.**

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LANCASTER WATER AND SEWER DISTRICT SPECIFICATIONS.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

© 2016 DRGP/007-002 TWO CAPITAL PARTNERS - OUP PROPERTY/007-002 - PLAT SHEET/C2.01-SP106

SHEET C2.01

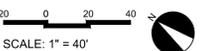


PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2681

**SITE  
PLAN**



PROJECT #: 507-002  
DRAWN BY: DK  
CHECKED BY: SK

JUNE 10, 2016

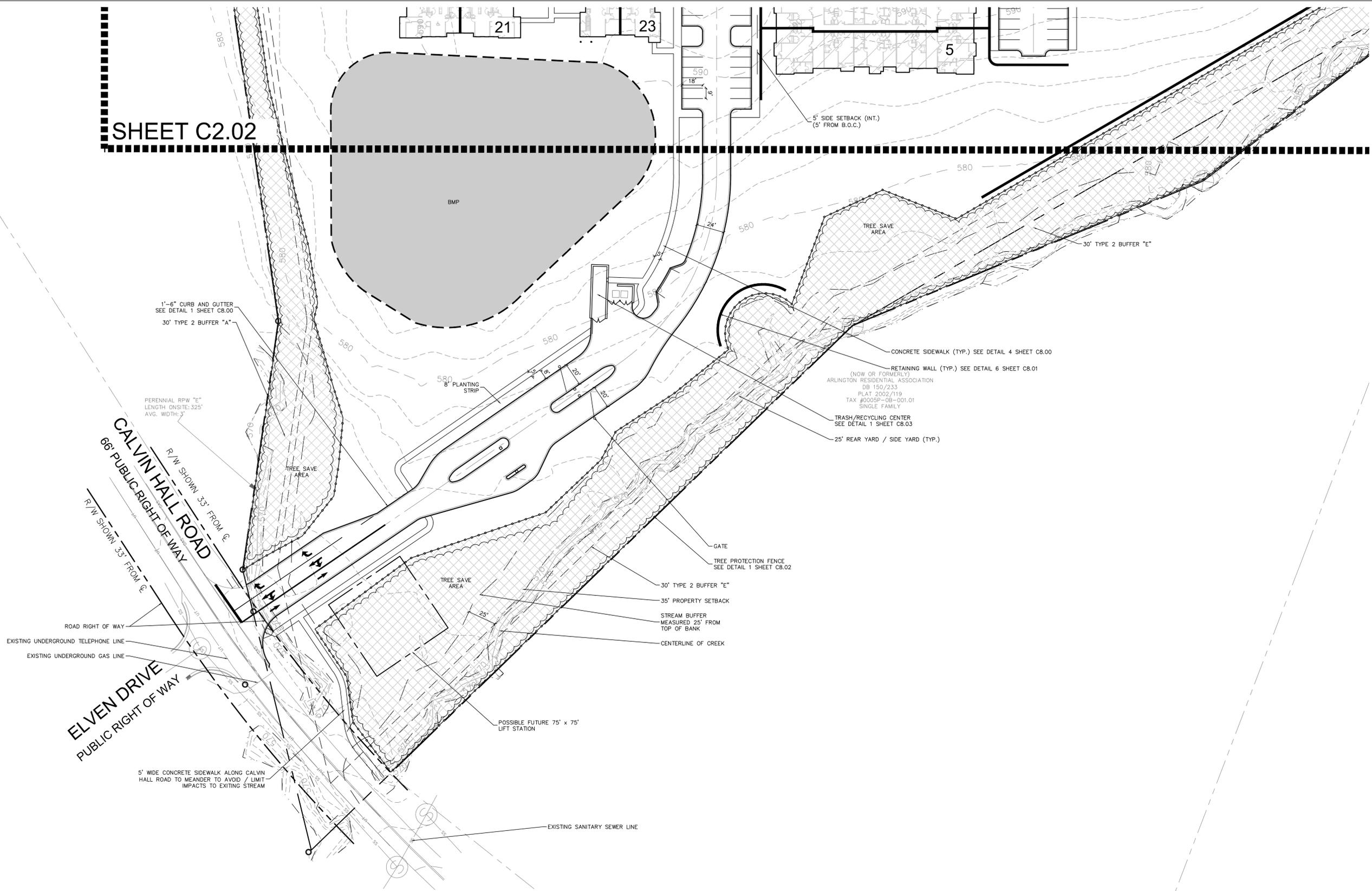
REVISIONS:



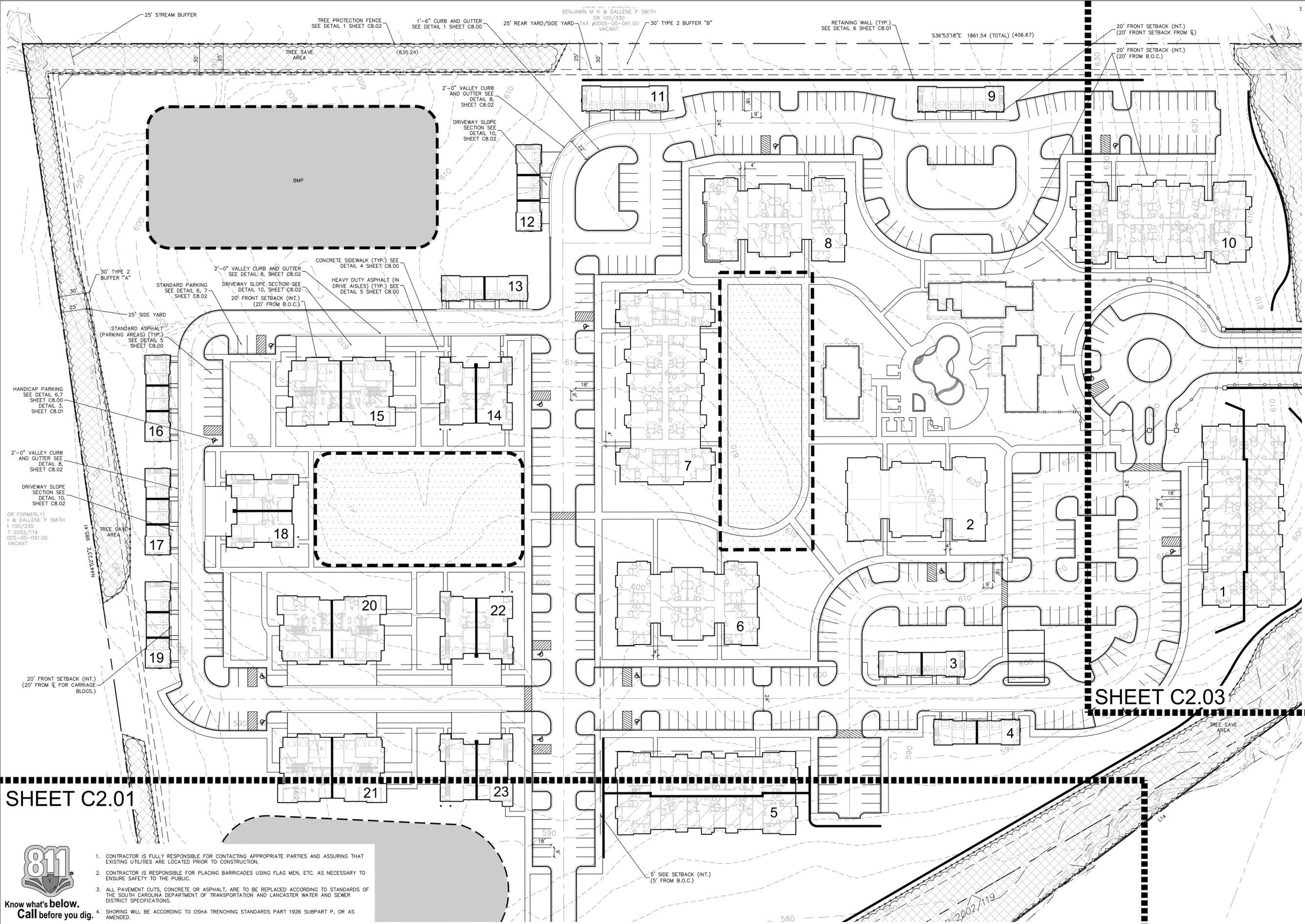
Know what's below.  
Call before you dig.

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LANCASTER WATER AND SEWER DISTRICT SPECIFICATIONS.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

**SHEET C2.02**



© 2016 DR GROUP - 002 TWO CAPITAL PARTNERS - CDP PROPERTY VIEWING - PLAT SHEET C2.02



SHEET C2.01

SHEET C2.03



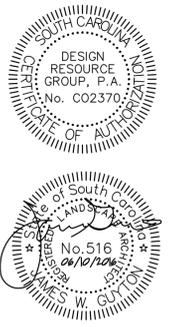
Know what's below.  
Call before you dig.

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LANCASTER WATER AND SEWER DISTRICT SPECIFICATIONS.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208  
704.343.0808  
www.drgrp.com

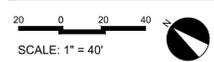


PRELIMINARY SITE PLAN

TWO CAPITAL INDIAN LAND  
LANCASTER COUNTY, SOUTH CAROLINA

TWO CAPITAL PARTNERS  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2681

SITE PLAN

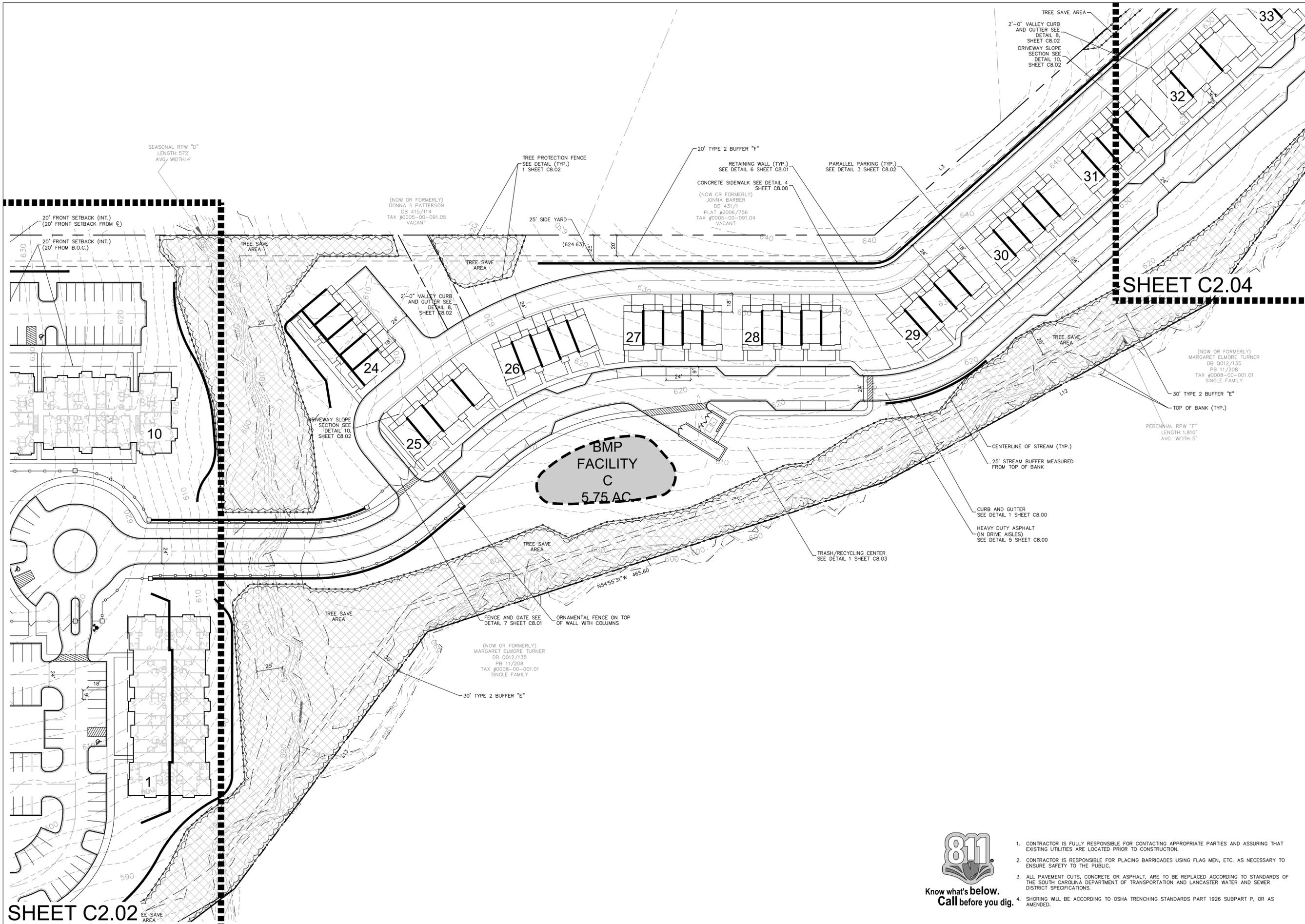


PROJECT #: 507-002  
DRAWN BY: DK  
CHECKED BY: SK

JUNE 10, 2016

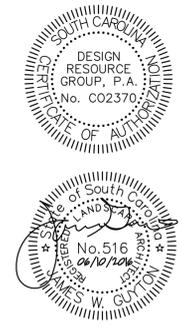
REVISIONS:

C2.02



SHEET C2.02

SHEET C2.04

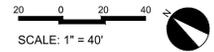


PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2681

SITE  
PLAN



PROJECT #: 507-002  
DRAWN BY: DK  
CHECKED BY: SK

JUNE 10, 2016

REVISIONS:



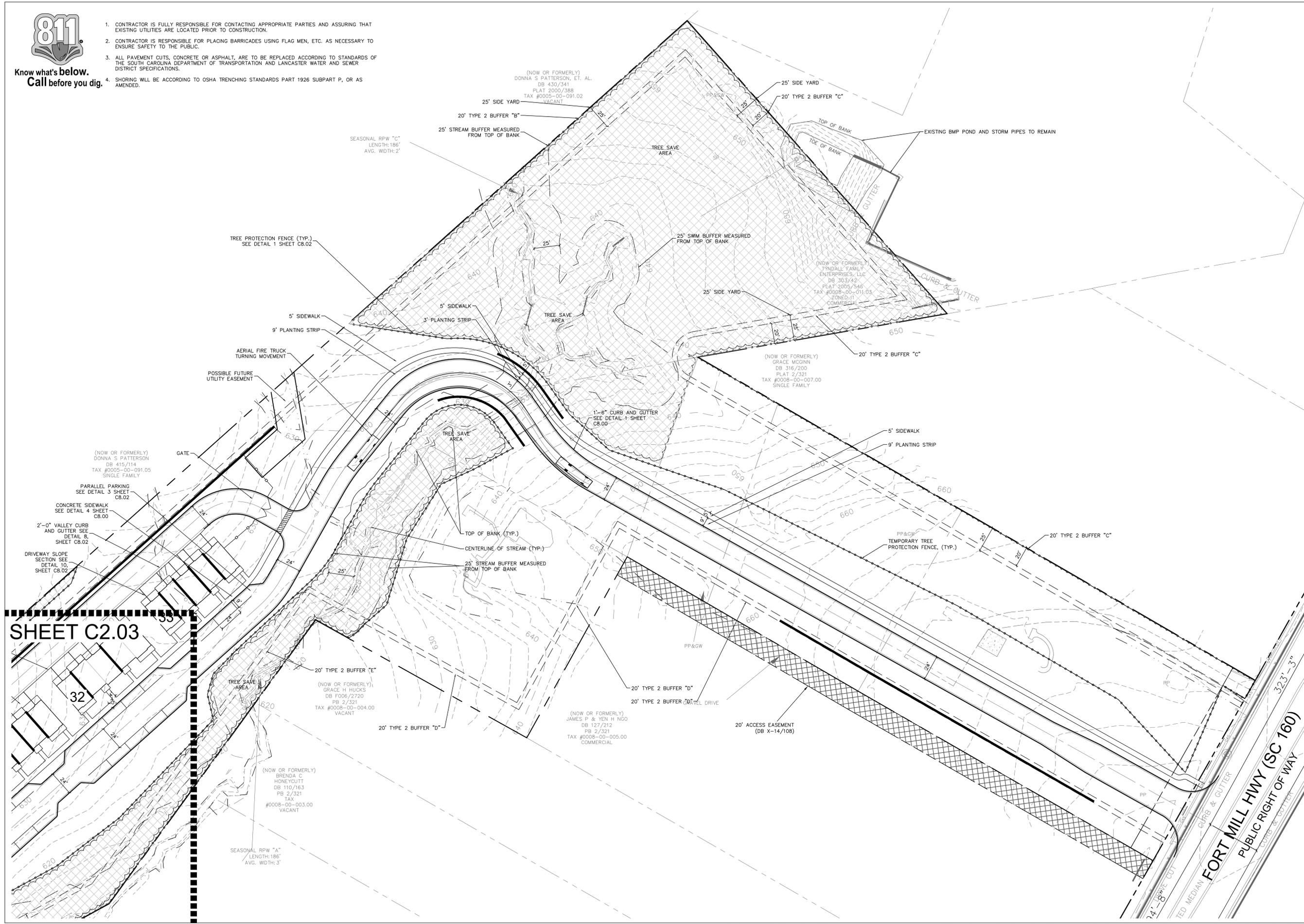
Know what's below.  
Call before you dig.

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LANCASTER WATER AND SEWER DISTRICT SPECIFICATIONS.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



Know what's below.  
Call before you dig.

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LANCASTER WATER AND SEWER DISTRICT SPECIFICATIONS.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

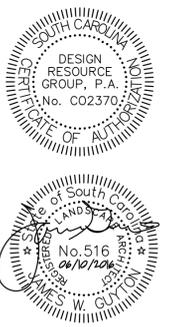


**SHEET C2.03**



LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208  
704.343.0608  
www.drggrp.com



PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2661

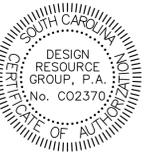
**SITE PLAN**

SCALE: 1" = 40'

PROJECT #: 507-002  
DRAWN BY: DK  
CHECKED BY: SK

JUNE 10, 2016

REVISIONS:



PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
 LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
 3445 PEACHTREE RD., SUITE 465  
 ATLANTA, GA 30326  
 404.262.2681

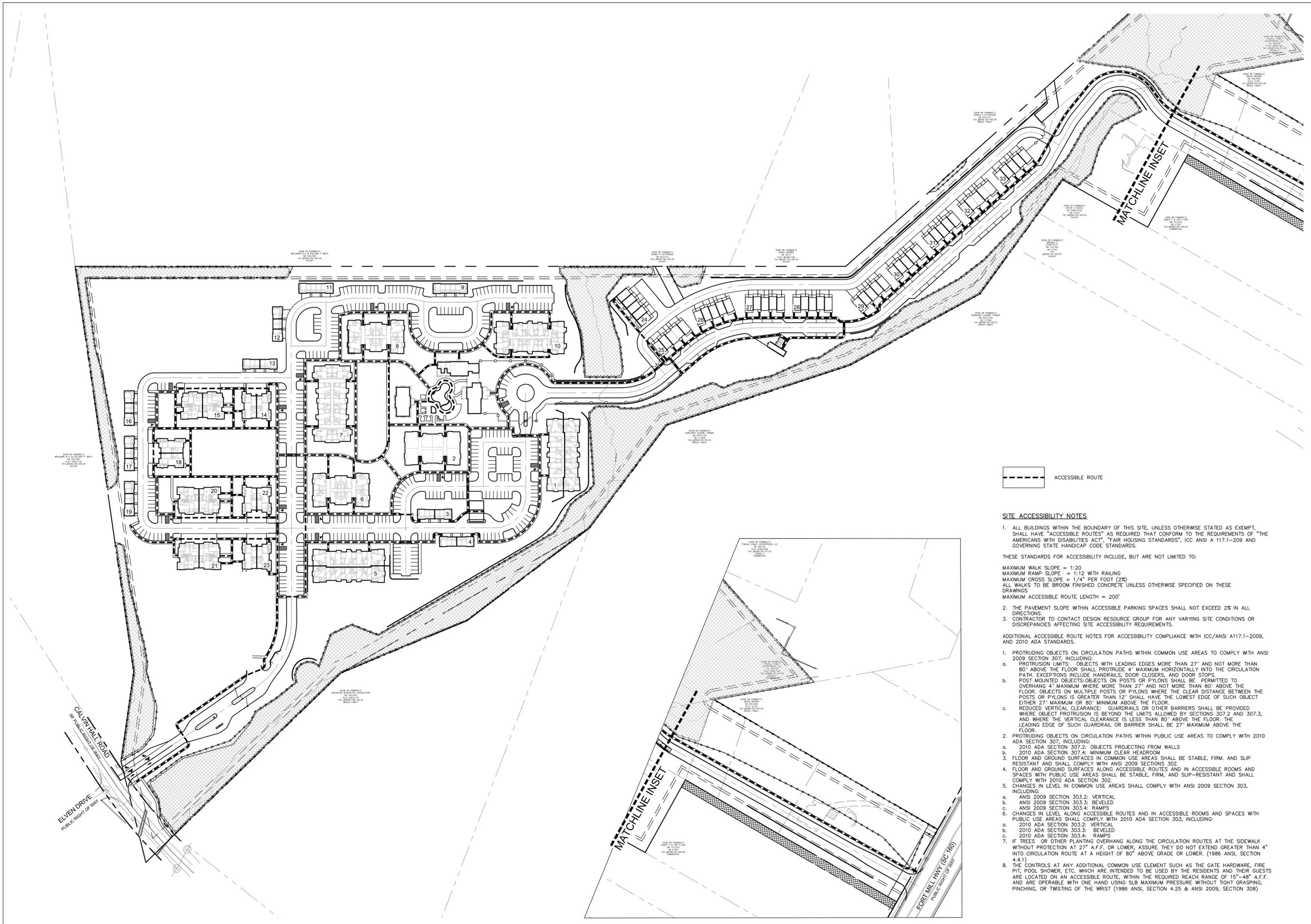
**ACCESSIBLE  
 ROUTE PLAN**

50 0 50 100  
 SCALE: 1" = 100'

PROJECT #: 507-002  
 DRAWN BY: DK  
 CHECKED BY: SK

JUNE 10, 2016

REVISIONS:



**SITE ACCESSIBILITY NOTES**

- ALL BUILDINGS WITHIN THE BOUNDARY OF THIS SITE, UNLESS OTHERWISE STATED AS EXEMPT, SHALL HAVE "ACCESSIBLE ROUTES" AS REQUIRED THAT CONFORM TO THE REQUIREMENTS OF "THE AMERICANS WITH DISABILITIES ACT", "FAIR HOUSING STANDARDS", ICC ANSI A 117.1-209 AND GOVERNING STATE HANDICAP CODE STANDARDS.  
 THESE STANDARDS FOR ACCESSIBILITY INCLUDE, BUT ARE NOT LIMITED TO:  
 MAXIMUM WALK SLOPE = 1:20  
 MAXIMUM RAMP SLOPE = 1:12 WITH RAILING  
 MAXIMUM CROSS SLOPE = 1/4" PER FOOT (2%)  
 ALL WALKS TO BE BROOM FINISHED CONCRETE UNLESS OTHERWISE SPECIFIED ON THESE DRAWINGS  
 MAXIMUM ACCESSIBLE ROUTE LENGTH = 200'
  - THE PAVEMENT SLOPE WITHIN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ALL DIRECTIONS
  - CONTRACTOR TO CONTACT DESIGN RESOURCE GROUP FOR ANY VARYING SITE CONDITIONS OR DISCREPANCIES AFFECTING SITE ACCESSIBILITY REQUIREMENTS.
- ADDITIONAL ACCESSIBLE ROUTE NOTES FOR ACCESSIBILITY COMPLIANCE WITH ICC/ANSI A117.1-2009, AND 2010 ADA STANDARDS.
- PROTRUDING OBJECTS ON CIRCULATION PATHS WITHIN COMMON USE AREAS TO COMPLY WITH ANSI 2009 SECTION 307, INCLUDING:
    - PROTRUSION LIMITS: OBJECTS WITH LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FLOOR SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH. EXCEPTIONS INCLUDE HANDRAILS, DOOR CLOSERS, AND DOOR STOPS.
    - POST MOUNTED OBJECTS: OBJECTS ON POSTS OR PYLONS SHALL BE PERMITTED TO OVERHANG 4" MAXIMUM WHERE MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE FLOOR. OBJECTS ON MULTIPLE POSTS OR PYLONS WHERE THE CLEAR DISTANCE BETWEEN THE POSTS OR PYLONS IS GREATER THAN 12" SHALL HAVE THE LOWEST EDGE OF SUCH OBJECT EITHER 27" MAXIMUM OR 80" MINIMUM ABOVE THE FLOOR.
    - REDUCED VERTICAL CLEARANCE: GUARDRAILS OR OTHER BARRIERS SHALL BE PROVIDED WHERE OBJECT PROTRUSION IS BEYOND THE LIMITS ALLOWED BY SECTIONS 307.2 AND 307.3, AND WHERE THE VERTICAL CLEARANCE IS LESS THAN 80" ABOVE THE FLOOR, THE LEADING EDGE OF SUCH GUARDRAIL OR BARRIER SHALL BE 27" MAXIMUM ABOVE THE FLOOR.
  - PROTRUDING OBJECTS ON CIRCULATION PATHS WITHIN PUBLIC USE AREAS TO COMPLY WITH 2010 ADA SECTION 307, INCLUDING:
    - 2010 ADA SECTION 307.2: OBJECTS PROJECTING FROM WALLS
    - 2010 ADA SECTION 307.4: MINIMUM CLEAR HEADROOM
  - FLOOR AND GROUND SURFACES IN COMMON USE AREAS SHALL BE STABLE, FIRM, AND SLIP RESISTANT AND SHALL COMPLY WITH ANSI 2009 SECTIONS 302.
  - FLOOR AND GROUND SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES WITH PUBLIC USE AREAS SHALL BE STABLE, FIRM, AND SLIP-RESISTANT AND SHALL COMPLY WITH 2010 ADA SECTION 302.
  - CHANGES IN LEVEL IN COMMON USE AREAS SHALL COMPLY WITH ANSI 2009 SECTION 303, INCLUDING:
    - ANSI 2009 SECTION 303.2: VERTICAL
    - ANSI 2009 SECTION 303.3: BEVELED
    - ANSI 2009 SECTION 303.4: RAMPS
  - CHANGES IN LEVEL ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES WITH PUBLIC USE AREAS SHALL COMPLY WITH 2010 ADA SECTION 303, INCLUDING:
    - 2010 ADA SECTION 303.2: VERTICAL
    - 2010 ADA SECTION 303.3: BEVELED
    - 2010 ADA SECTION 303.4: RAMPS
  - IF TREES OR OTHER PLANTING OVERHANG ALONG THE CIRCULATION ROUTES AT THE SIDEWALK WITHOUT PROTECTION AT 27" A.F.F. OR LOWER, ASSURE THEY DO NOT EXTEND GREATER THAN 4" INTO CIRCULATION ROUTE AT A HEIGHT OF 80" ABOVE GRADE OR LOWER. (1986 ANSI, SECTION 4.4.1)
  - THE CONTROLS AT ANY ADDITIONAL COMMON USE ELEMENT SUCH AS THE GATE HARDWARE, FIRE PIT, POOL SHOWER, ETC. WHICH ARE INTENDED TO BE USED BY THE RESIDENTS AND THEIR GUESTS ARE LOCATED ON AN ACCESSIBLE ROUTE, WITHIN THE REQUIRED REACH RANGE OF 15"-48" A.F.F. AND ARE OPERABLE WITH ONE HAND USING 5LB MAXIMUM PRESSURE WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST (1986 ANSI, SECTION 4.25 & ANSI 2009, SECTION 308)



PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2681

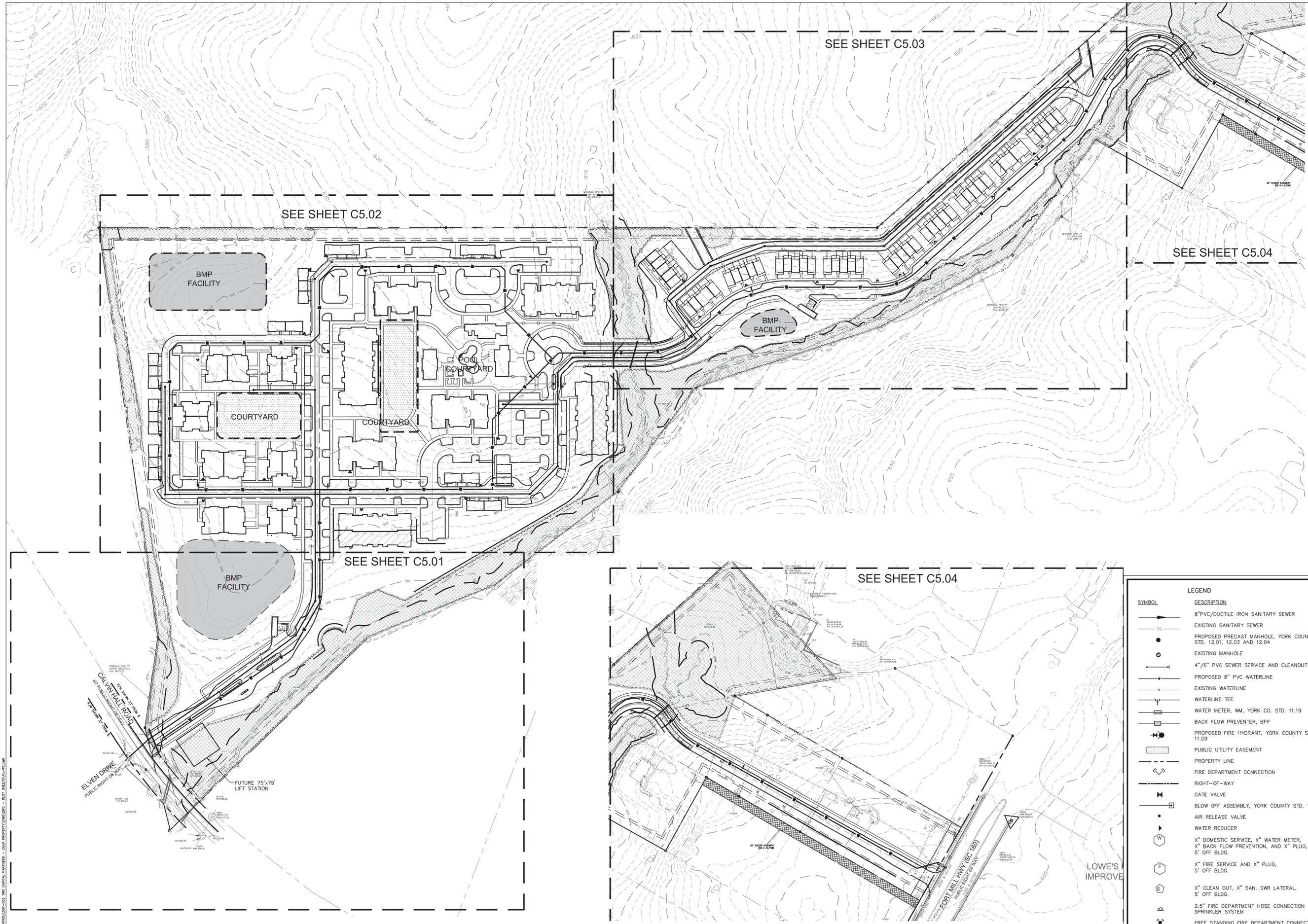
**OVERALL  
UTILITY PLAN**

50 0 50 100  
SCALE: 1" = 100'

PROJECT #: 507-002  
DRAWN BY: KL  
CHECKED BY: MM

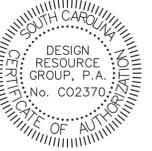
JUNE 10, 2016

REVISIONS:



SYMBOL	DESCRIPTION
	8" PVC/DUCTILE IRON SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED PRECAST MANHOLE, YORK COUNTY STD. 12.01, 12.03 AND 12.04
	EXISTING MANHOLE
	4" / 6" PVC SEWER SERVICE AND CLEANOUT
	PROPOSED 8" PVC WATERLINE
	EXISTING WATERLINE
	WATERLINE TEE
	WATER METER, WM, YORK CO. STD. 11.19
	BACK FLOW PREVENTER, BFP
	PROPOSED FIRE HYDRANT, YORK COUNTY STD. 11.09
	PUBLIC UTILITY EASEMENT
	PROPERTY LINE
	FIRE DEPARTMENT CONNECTION
	RIGHT-OF-WAY
	GATE VALVE
	BLOW OFF ASSEMBLY, YORK COUNTY STD. 11.11
	AIR RELEASE VALVE
	WATER REDUCER
	X" DOMESTIC SERVICE, X" WATER METER, X" BACK FLOW PREVENTION, AND X" PLUG, 5' OFF BLDG.
	X" FIRE SERVICE AND X" PLUG, 5' OFF BLDG.
	X" CLEAN OUT, X" SAN. SWR LATERAL, 5' OFF BLDG.
	2.5" FIRE DEPARTMENT HOSE CONNECTION TO SPRINKLER SYSTEM
	FREE STANDING FIRE DEPARTMENT CONNECTION

C:\Users\jmo\OneDrive\Documents\Projects\507-002 - Two Capital Partners - RFP\Drawings\DWG - RFP SHEETS\16-050.DWG

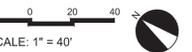


PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
 LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
 3445 PEACHTREE RD., SUITE 465  
 ATLANTA, GA 30326  
 404.262.2681

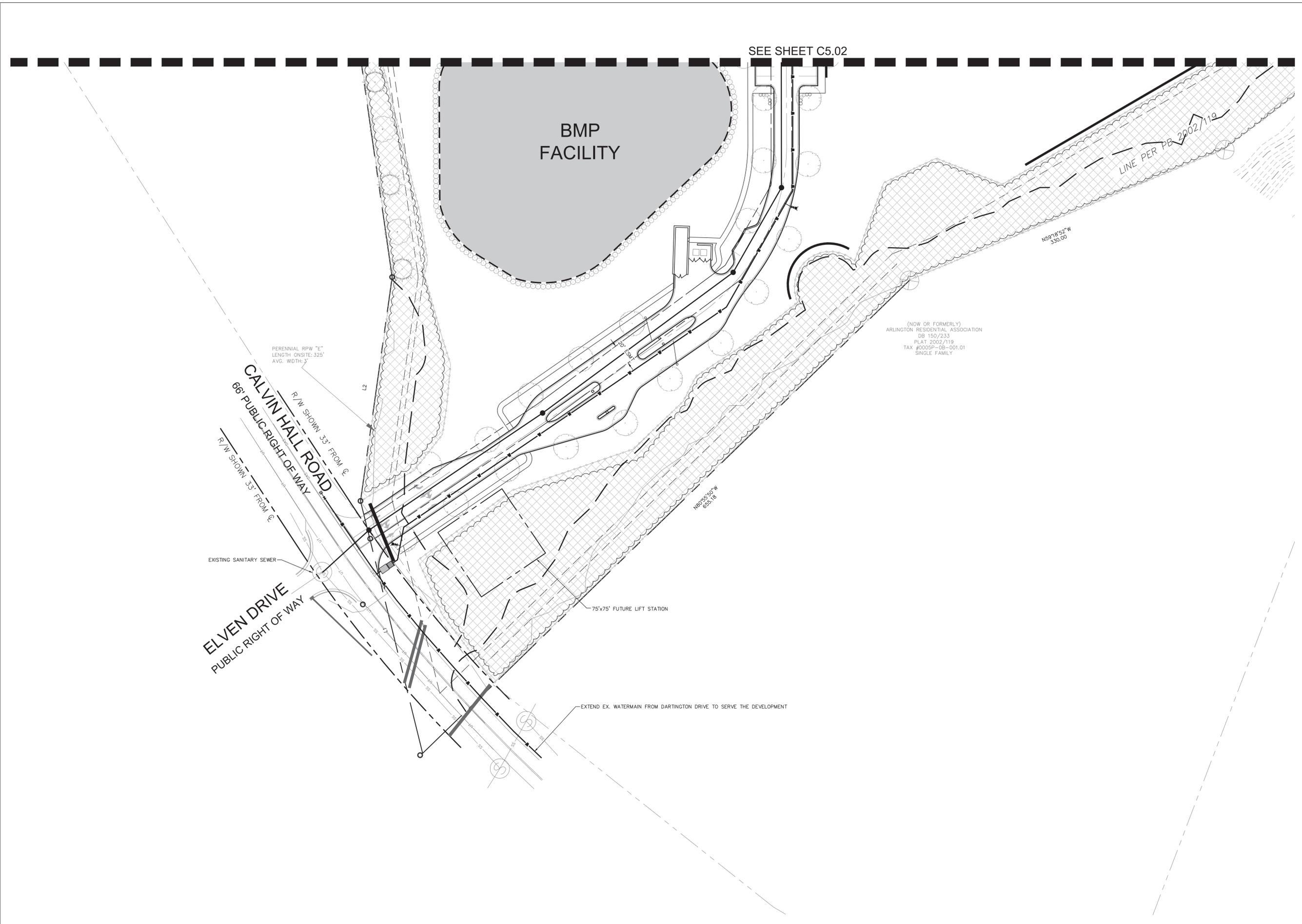
UTILITY PLAN



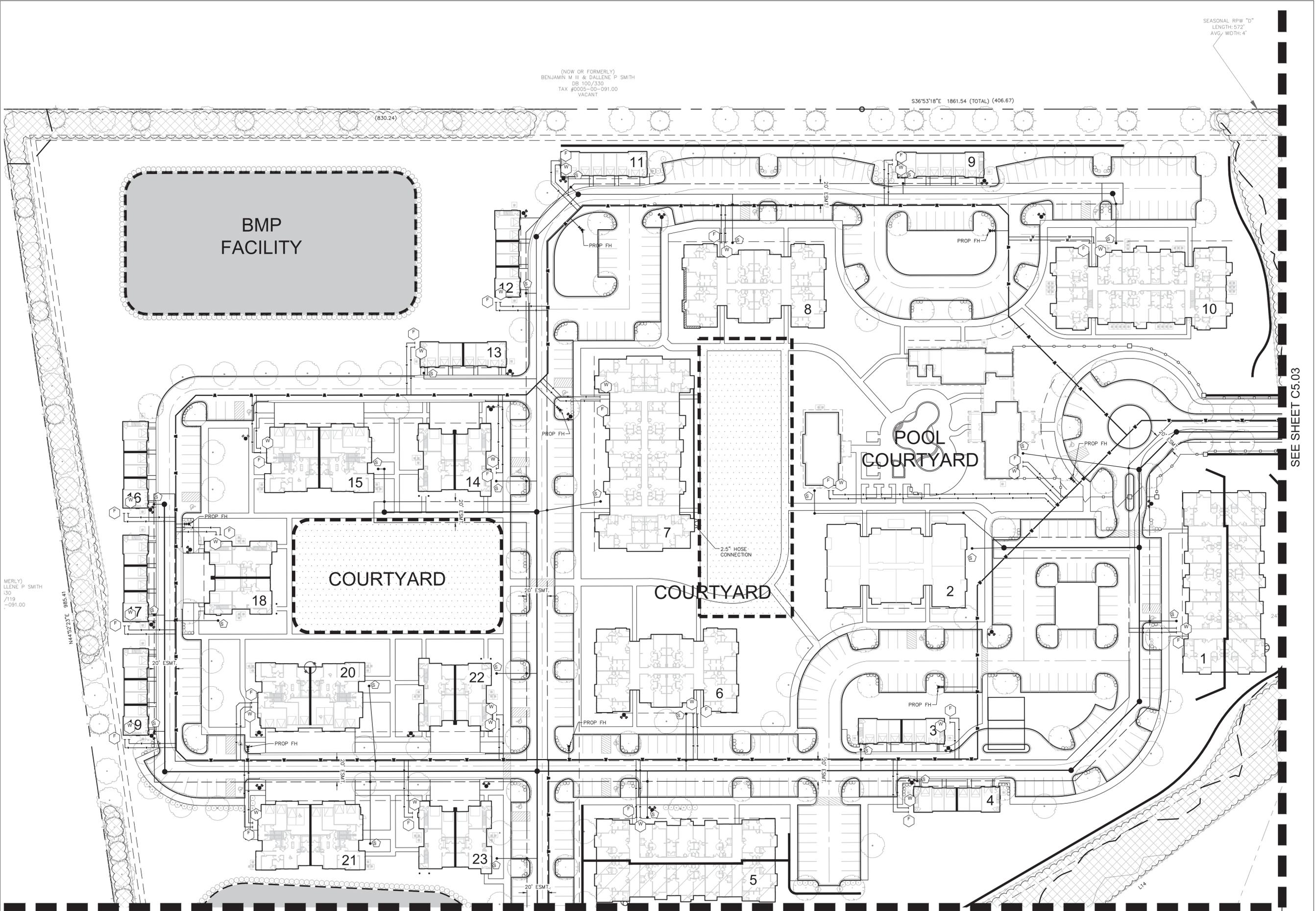
PROJECT #: 507-002  
 DRAWN BY: KL  
 CHECKED BY: MM

JUNE 10, 2016

REVISIONS:



C:\Users\m07-002\Two Capital Partners - CDP Properties\WCS\DWG - PLOT SHEETS\WCS\DWG



(NOW OR FORMERLY)  
 BENJAMIN M III & DALLENE P SMITH  
 DB 100/330  
 TAX #0023-00-091.00  
 VACANT

S36°53'18"E 1861.54 (TOTAL) (406.67)

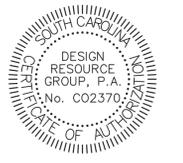
(FORMERLY)  
 DALLENE P SMITH  
 130  
 7/19  
 -091.00

N44°52'23"E 885.41

SEASONAL RPW "D"  
 LENGTH: 572'  
 AVG. WIDTH: 4'

SEE SHEET C5.01

SEE SHEET C5.03

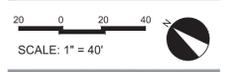


PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
 LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
 3445 PEACHTREE RD., SUITE 465  
 ATLANTA, GA 30326  
 404.262.2661

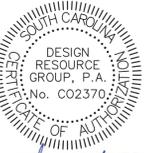
UTILITY PLAN



PROJECT #: 507-002  
 DRAWN BY: KL  
 CHECKED BY: MM

JUNE 10, 2016

REVISIONS:

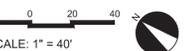


PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
 LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
 3445 PEACHTREE RD., SUITE 465  
 ATLANTA, GA 30326  
 404.262.2681

UTILITY PLAN



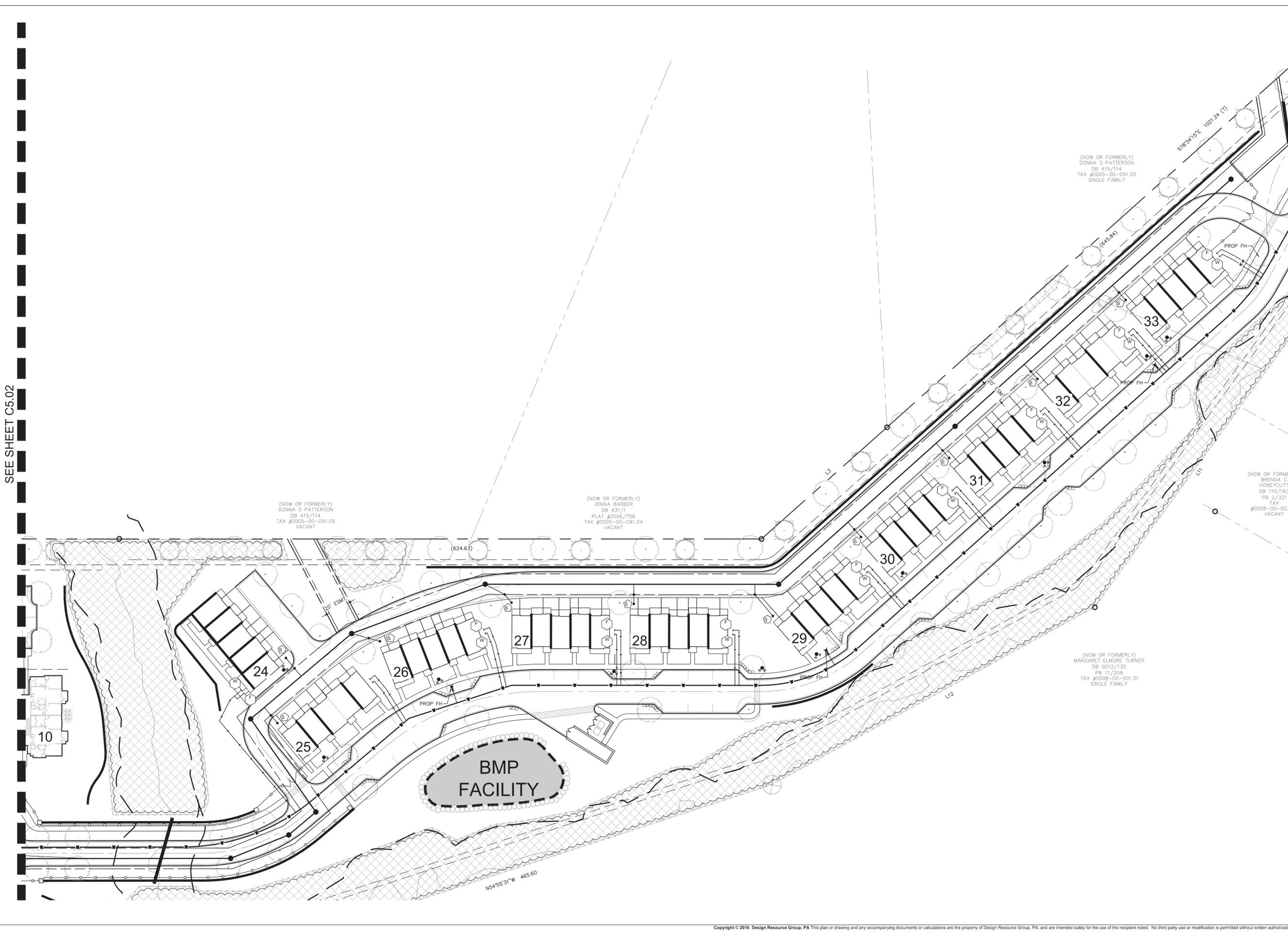
PROJECT #: 507-002  
 DRAWN BY: KL  
 CHECKED BY: MM

JUNE 10, 2016

REVISIONS:

SEE SHEET C5.02

C:\Users\p107\OneDrive\Documents\Two Capital Partners - CDP Properties\TwoCap - Plot Sheets\W-16160



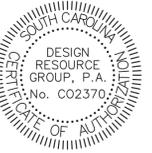
(NOW OR FORMERLY)  
 DONNA S PATTERSON  
 DB 415/114  
 TAX #0005-00-091.05  
 VACANT

(NOW OR FORMERLY)  
 JONNA BARBER  
 DB 431/1  
 PLAT #2006/756  
 TAX #0005-00-091.04  
 VACANT

(NOW OR FORMERLY)  
 DONNA S PATTERSON  
 DB 415/114  
 TAX #0005-00-091.05  
 SINGLE FAMILY

(NOW OR FORMERLY)  
 BRENDA C HONEYCUTT  
 DB 110/163  
 PB 2/321  
 TAX #0008-00-003  
 VACANT

(NOW OR FORMERLY)  
 MARGARET ELMORE TURNER  
 DB 0012/135  
 PB 11/208  
 TAX #0008-00-001.01  
 SINGLE FAMILY



PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
 LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
 3445 PEACHTREE RD., SUITE 465  
 ATLANTA, GA 30326  
 404.262.2681

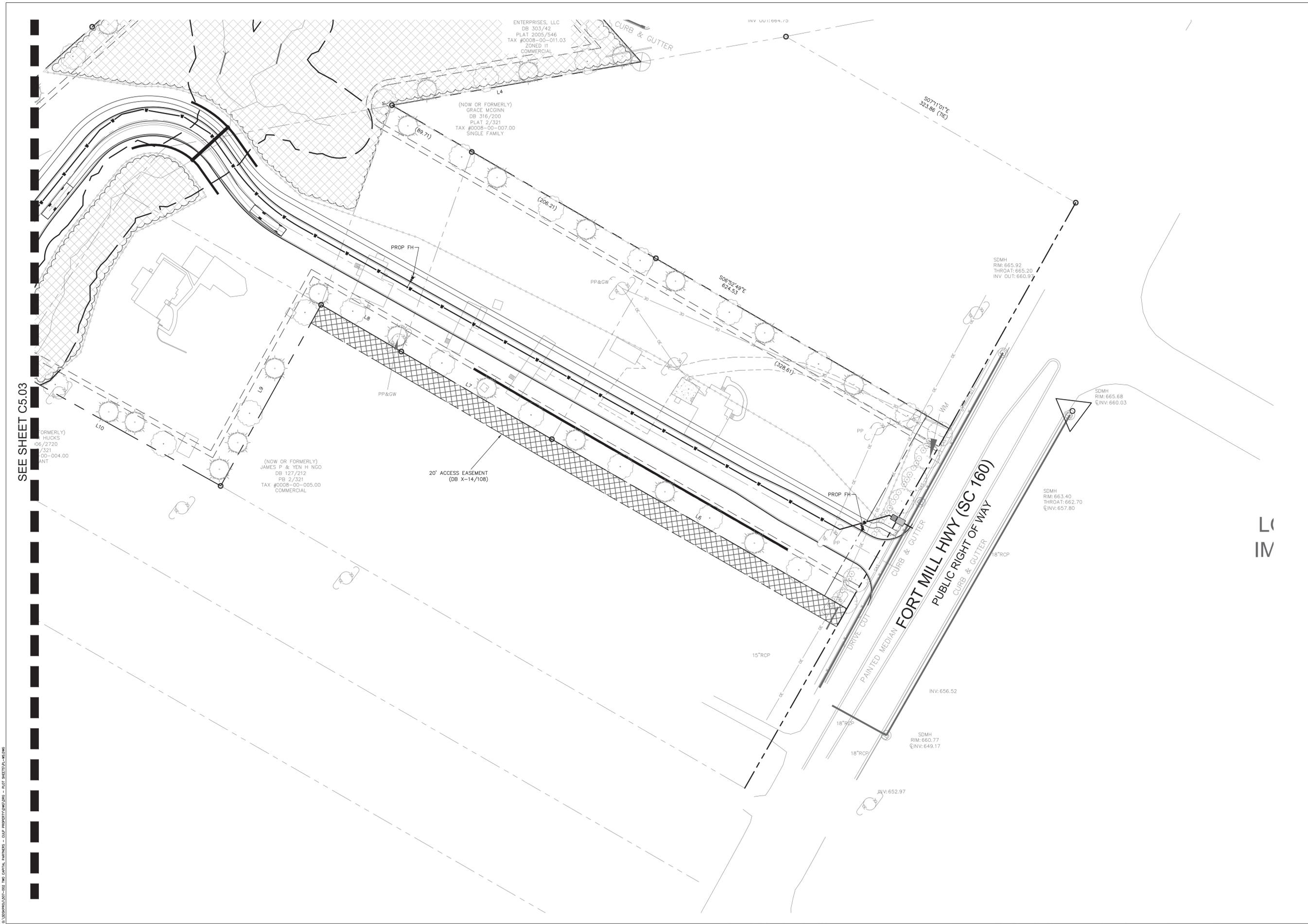
UTILITY PLAN



PROJECT #: 507-002  
 DRAWN BY: KL  
 CHECKED BY: MM

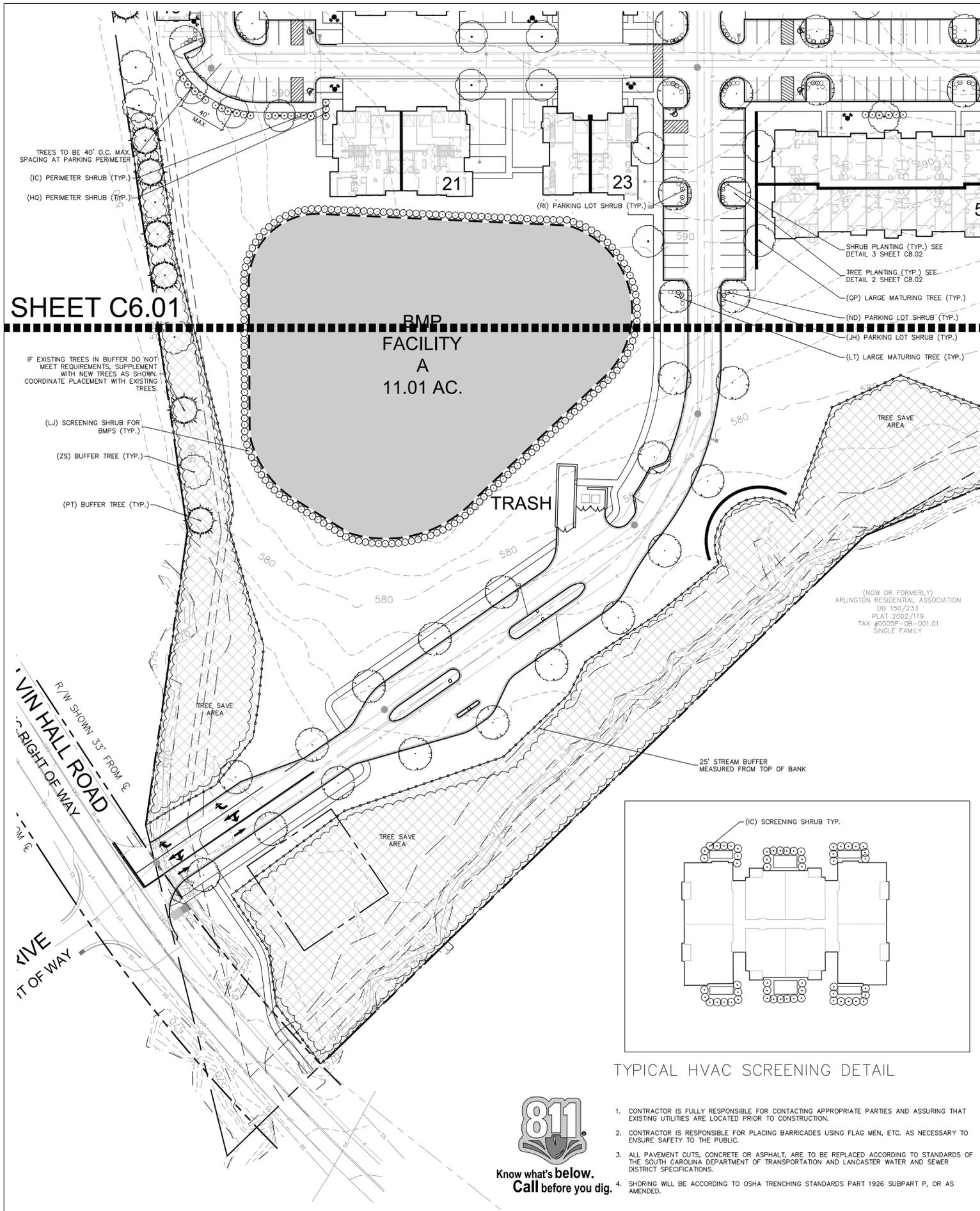
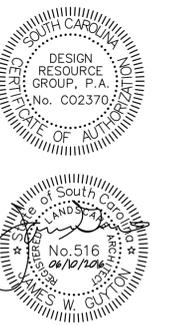
JUNE 10, 2016

REVISIONS:



SEE SHEET C5.03

C:\Users\KL\OneDrive\Documents\507-002 TWO CAPITAL PARTNERS - CLIP PROPERTY\DWG\JOB - PLOT SHEETS\A-161.DWG



**GENERAL NOTES:**

PLANT SPECIFICATIONS (CHAPTER 22 LANCASTER CODE OF ORDINANCES):

- A. PLANT MATERIALS SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 1990 "AMERICAN STANDARD FOR NURSERY STOCK". ALL TREES MUST BE UNIFORM IN SIZE AND SHAPE WITH THE MINIMUM REQUIRED ROOT BALL SIZE RELATIVE TO CALIPER FOR BALLED AND BURLAPPED PLANTS.
  - B. THE VENDOR WILL PROVIDE HEALTHY, VIGOROUS STOCK GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PLANTING PROJECT. NURSERY STOCK SHALL BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, INJURY, AND DEFECTS SUCH AS ABRASIONS OR DISTORTION. PLANTS SHIPPED FROM HARDINESS ZONES MORE THAN 2 ZONES AWAY SHALL BE APPROVED BY BUYER PRIOR TO SHIPMENT.
  - C. THE BUYER RESERVES THE RIGHT TO INSPECT ALL TREES AT PLACE OF GROWTH OR POINT OF PURCHASE FOR COMPLIANCE WITH REQUIREMENTS FOR NAME, SIZE, QUALITY AND QUANTITY. A MINIMUM OF 72 HOURS SHALL BE GIVEN FOR THE SCHEDULING OF THIS INSPECTION OF PROPOSED NURSERY STOCK.
  - D. ALL TREES SHALL BE DELIVERED FROM THE GROWING SITE TO THE PLANTING SITE IN CLOSED OR COVERED TRUCK. PLANTS SHALL BE PROTECTED AT ALL TIMES FROM SUN OR DRYING WINDS.
  - E. THE VENDOR SHALL MAINTAIN ALL LANDSCAPE MATERIAL IN A FIRST CLASS CONDITION UNTIL PRODUCT IS DELIVERED AND FINAL ACCEPTANCE IS GRANTED.
  - F. TREES MOVED BY WINCH OR CRANE SHALL BE THOROUGHLY PROTECTED FROM ALL MECHANICAL DAMAGE TO ROOTS AND TRUNK BY MEANS OF BURLAP, WOOD BATTENS, OR OTHER ARBORICULTURALLY APPROVED PRODUCTS AND METHODS.
  - G. PLANT MATERIALS WILL BE TRUE TO NAME AND VARIETY ESTABLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE "STANDARDIZED PLANT NAMES".
  - H. TREES WITH NATURAL UPRIGHT GROWTH HABIT WILL HAVE A SINGLE, STRAIGHT TRUNK THAT IS WELL FORMED AND STURDY. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED, WILL BE REJECTED.
  - I. LATERAL BRANCHING SHALL BE PLENTIFUL AND UNIFORMLY DISTRIBUTED. AT LEAST HALF THE TRUNK SHOULD HAVE LATERAL BRANCHES. EXCESSIVE PRUNING OF LOWER HALF OF LATERAL BRANCHES SHALL BE CAUSE FOR REJECTION.
  - J. TREES WHICH HAVE BEEN "TOPPED" SHALL BE REJECTED.
  - K. PRUNING SCARS SHOULD BE CLEAN CUT LEAVING LITTLE OR NO PROTRUSION FROM THE TRUNK OR BRANCH.
  - L. TREES SHALL BE FREE OF COLD INJURY AND SUN SCALD.
  - M. CALIPER OF THE TRUNK SHALL BE TAKEN SIX INCHES ABOVE THE GROUND FOR DIAMETERS UP TO AND INCLUDING FOUR INCH CALIPER SIZE, AND TWELVE INCHES ABOVE THE GROUND FOR LARGER SIZES.
  - N. TREES SHALL BE DENSELY SUPPLIED WITH HEALTHY, VIGOROUS LEAVES OF NORMAL SIZE, SHAPE, TEXTURE, AND OF DEEP GREEN COLOR.
  - O. PEST OR MECHANICAL DESTRUCTION SHALL NOT EXCEED APPROXIMATELY 14 OF INDIVIDUAL LEAVES NOR AFFECT MORE THAN FIVE PERCENT OF THE TOTAL FOLIAGE.
  - P. ROOTS SHALL BE STURDILY ESTABLISHED. ROOT MASS SHALL NOT BE EXCESSIVELY ROOT BOUND, KINKED AND CIRCLING ROOTS ARE NOT ACCEPTABLE. THERE SHALL BE NO LARGE ROOTS GROWING OUT OF CONTAINER.
  - Q. ROOTING MEDIUM SHALL BE WEED-FREE.
  - R. THERE SHOULD BE NO "INCLUDED" BARK BETWEEN BRANCHES.
- INSTALLATION:**
- A. PLANTING SHALL BE DONE IN THE DORMANT SEASON AFTER LEAF DROP IN THE FALL UNTIL BUD BREAK IN SPRING UNLESS PLANTING PALMETTO TREES OR SPECIAL PRECAUTIONS ARE TAKEN TO ENSURE SURVIVAL.
  - B. PLANTS SHALL BE PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS.
  - C. THE MINIMUM ROOTING AREA FOR SMALL TREES SHOULD BE 4X4 FEET IN DIMENSION, FOR LARGER TREES ROOTING AREA SHOULD BE 6X6 FEET. ISLANDS SHOULD PROVIDE AT LEAST 400 SQUARE FEET OF ROOTING AREA.
  - D. THE PLANTING HOLE SHALL BE DUG AS DEEP AS THE ROOT BALL AND AT LEAST TWICE AS WIDE.
  - E. THE TREE SHALL BE PLACED IN THE HOLE AT ITS ORIGINAL GROWING LEVEL.
  - F. ROPES AND STRAPS OR CONTAINERS SHALL BE REMOVED. ALL BURLAP SHALL BE CUT AND REMOVED FROM THE UPPER 1/3 OF THE ROOTBALL AND WIRE BASKETS SHALL BE CUT SO THEY DO NOT PROTRUDE ABOVE THE FINAL GRADE.
  - G. TREES SHALL BE WATERED SUFFICIENTLY TO SETTLE THE SOIL AND THOROUGHLY WET THE ROOT BALL.
  - H. A BERM OR BASIN SHALL BE CONSTRUCTED AROUND THE OUTSIDE OF THE BACK-FILLED AREA TO HOLD WATER.
  - I. A FOUR-INCH LAYER OF MULCH SHALL BE PLACED OVER THE PLANTING AREA FROM THE OUTSIDE OF THE BERM TO THE BASE OF THE TRUNK.
  - J. THE "PLANTING AREA" COMPRISES THE ROOT BALL, HOLE, BACKFILL, AND OUTSIDE RIM OF THE BERM.
  - K. STAKING AND GUYING SHALL ONLY BE USED WHERE SUPPORT IS NECESSARY. TIES SHALL BE MADE OF A BROAD, SOFT STRAPPING MATERIAL. STAKING SHALL ALLOW SLIGHT MOVEMENT OF THE TRUNK. THE USE OF RUBBER HOSES ARE NOT RECOMMENDED.
  - L. PRUNING SHALL BE LIMITED TO BROKEN BRANCHES.
  - M. FERTILIZER SHALL NOT BE USED AT PLANTING TIME.
  - N. TREE WRAP SHALL NOT BE USED.
  - O. THE USE OF ROOT BARRIERS IS NOT RECOMMENDED.
  - P. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL TO BE IN HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.

**BUFFERS (SECTION SECTION 12.8 OF LANCASTER COUNTY CODE OF ORDINANCES, AND SECTION 2.1.5(7)(K)(VI)(2.3) OF LANCASTER COUNTY CODE OF ORDINANCES:**

- 30' TYPE 2 BUFFERYARD A:  
REQUIRED: 1445.14 LF @ 1 TREE PER 50 FT = 29 TREES, (SHRUBS OPTIONAL)  
PROVIDED: (15) ZS, (14) PT, EXISTING TREES WITHIN SWIM BUFFER AND TREE SAVE AREAS
- 30' TYPE 2 BUFFERYARD B:  
REQUIRED: 1209 LF @ 1 TREE PER 50 FT = 25 TREES, (SHRUBS OPTIONAL)  
PROVIDED: (13) PT, (12) ZS, EXISTING TREES WITHIN TREE SAVE AREAS
- 20' TYPE 2 BUFFERYARD C:  
REQUIRED: 1248.49 LF @ 1 TREE PER 50 FT = 25 TREES, (SHRUBS OPTIONAL)  
PROVIDED: (14) ZS (12) PT, EXISTING TREES WITHIN TREE SAVE AREAS
- 20' TYPE 2 BUFFERYARD D:  
REQUIRED: 1023.32 LF @ 1 TREE PER 50 FT = 21 TREES, (SHRUBS OPTIONAL)  
PROVIDED: (10) ZS, (11) PT, EXISTING TREES WITHIN TREE SAVE AREAS
- 30' TYPE 2 BUFFERYARD E:  
REQUIRED: 2823.11 LF @ 1 TREE PER 50 FT = 57 TREES, (SHRUBS OPTIONAL)  
PROVIDED: EXISTING TREES AND SHRUBS WITHIN SWIM BUFFER, EXISTING TREES WITHIN TREE SAVE AREAS
- 20' TYPE 2 BUFFERYARD F:  
REQUIRED: 1829.63 LF @ 1 TREE PER 50 FT = 37 TREES, (SHRUBS OPTIONAL)  
PROVIDED: (19) PT, (18) ZS, EXISTING TREES WITHIN TREE SAVE AREAS
- 25' CORRIDOR FRONTAGE BUFFER:  
REQUIRED: 200.47 LF @ 3 TREES PER 200 FT = 7 TREES, (SHRUBS OPTIONAL)  
PROVIDED: (7) LT, (12) IC, 12 HQ

**INTERNAL PARKING TREE REQUIREMENTS - SECTION 2.1.5(7)(K)(VI)(5) OF LANCASTER COUNTY CODE OF ORDINANCES AND SECTION 11.14 OF LANCASTER COUNTY CODE OF ORDINANCES:**

- 1. MINIMUM OF 5% OF TOTAL INTERIOR SQUARE FOOTAGE OF PARKING LOTS SHALL BE LANDSCAPED.  
REQUIRED: 5% OF 70146 SQ. FT. = 3507.3 SQ. FT.  
PROVIDED:
- 2. 1 LANDSCAPED ISLAND FOR EVERY 10 PARKING SPACES OR FRACTION THEREOF, AND AT EACH END OF ALL PARKING AISLES.
- 3. ISLAND SHALL BE 200 SQ. FT. MINIMUM AND AT LEAST 10 FEET WIDE.
- 4. ISLAND SHALL HAVE 1 2.5" MIN. CALIPER CANOPY TREE AND 6 18" MIN. TALL SHRUBS AT TIME OF PLANTING.
- 5. SHRUBS SHALL BE 30" TALL MAXIMUM.

**REQUIRED TREE SCHEDULE**

Count	KEY	SCIENTIFIC NAME	COMMON NAME	HT.	CAL.	CON.	NOTE
127	LT	LIRODENDRON TULIPIFERA	TULIP TREE	10-12'	2.5"	B&B	FULL CROWN, STRAIGHT TRUNK, WELL MATCHED SPECIMENS
68	PT	PINUS TAEDA	LOBLOLLY PINE	10-12'	2.5"	B&B	FULL CROWN, STRAIGHT TRUNK, WELL MATCHED SPECIMENS
73	QP	QUERCUS PHELLOS	WILLOW OAK	10-12'	2.5"	B&B	STRAIGHT TRUNK, FULL CROWN, WELL MATCHED SPECIMENS
69	ZS	ZELKOVA SERRATA	JAPANESE ZELKOVA	10-12'	2.5"	B&B	FULL CROWN, STRAIGHT TRUNK, WELL MATCHED SPECIMENS

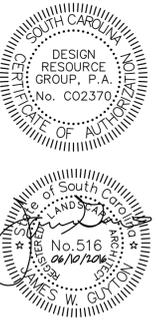
**REQUIRED SHRUB SCHEDULE**

Count	KEY	SCIENTIFIC NAME	COMMON NAME	HT.	SPD.	NOTE
22	HQ	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	28-30"	28-30"	FULL BUSHY CONTAINER
52	IC	ILEX CORNUATA 'BURFORDII NANA'	DWARF BURFORD HOLLY	30-32"	30-32"	FULL BUSHY CONTAINER
340	JH	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER		15-17"	FULL BUSHY CONTAINER
419	LJ	LIGUSTRUM JAPONICUM	JAPANESE LIGUSTRUM	36" MIN.	24" MIN.	FULL BUSHY CONTAINER
45	ND	NANDINA DOMESTICA NANA 'FIREPOWER'	DWARF FIREPOWER NANDINA	15-17"	15-17"	FULL BUSHY CONTAINER
66	RI	RAPHIOLEPSIS INDICA 'LITTLE PRINCESS'	LITTLE PRINCESS INDIAN HAWTHORNE	18-20"	24-26"	FULL BUSHY CONTAINER
62	SB	SPIREA BUMALDA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	15-17"	18-20"	FULL BUSHY CONTAINER

**TYPICAL HVAC SCREENING DETAIL**

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LANCASTER WATER AND SEWER DISTRICT SPECIFICATIONS.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



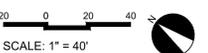


PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
 LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
 3445 PEACHTREE RD., SUITE 465  
 ATLANTA, GA 30326  
 404.262.2681

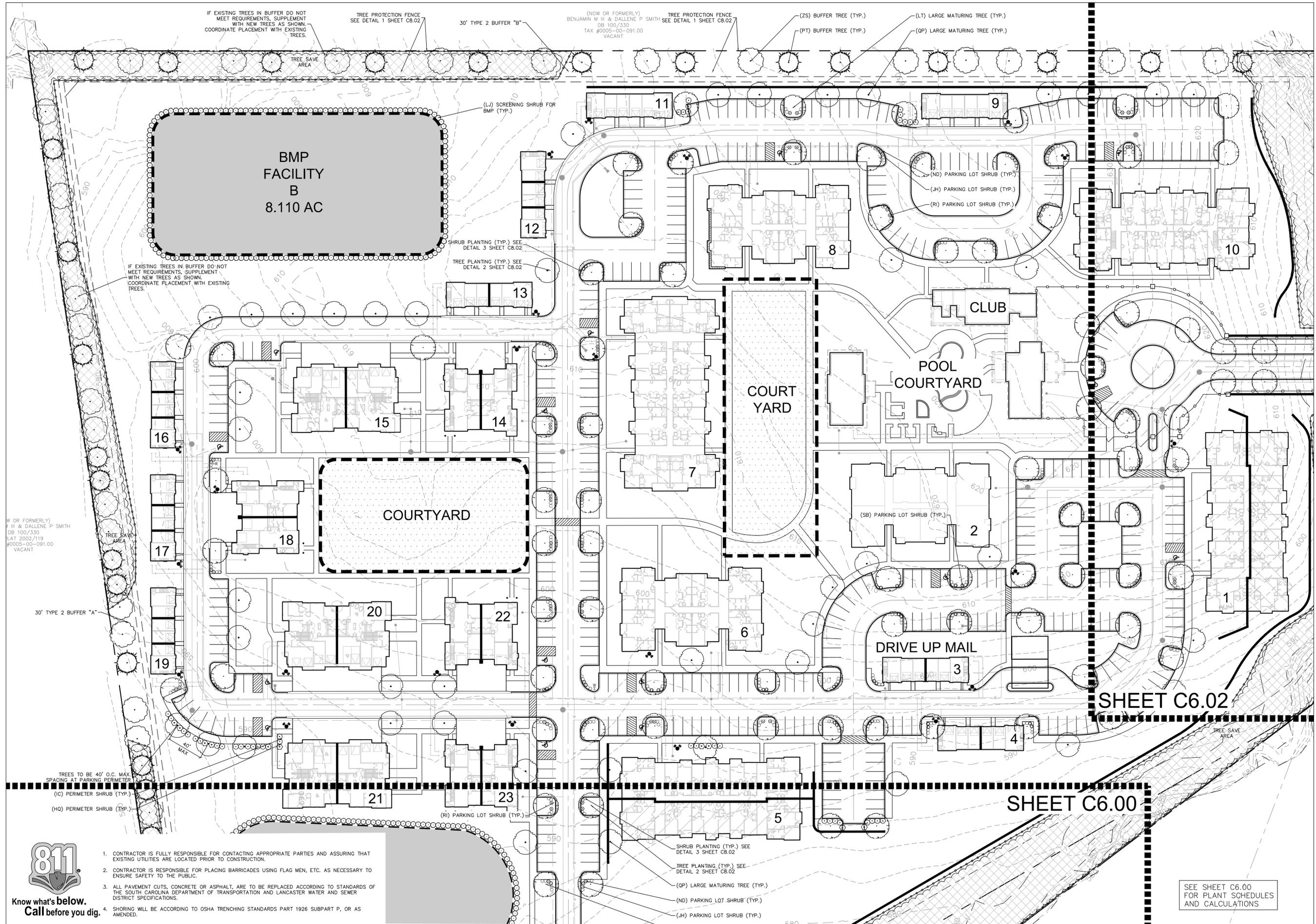
**REQUIRED  
 PLANTING  
 PLAN**



PROJECT #: 507-002  
 DRAWN BY: DK  
 CHECKED BY: SK

JUNE 10, 2016

REVISIONS:



IF EXISTING TREES IN BUFFER DO NOT MEET REQUIREMENTS, SUPPLEMENT WITH NEW TREES AS SHOWN. COORDINATE PLACEMENT WITH EXISTING TREES.

TREE PROTECTION FENCE SEE DETAIL 1 SHEET C8.02

30' TYPE 2 BUFFER "B"

(NOW OR FORMERLY) BENJAMIN M III & DALLENE P SMITH DB 100/330 TAX #0005-00-091.00 VACANT

TREE PROTECTION FENCE SEE DETAIL 1 SHEET C8.02

(ZS) BUFFER TREE (TYP.)

(LT) LARGE MATURING TREE (TYP.)

(PT) BUFFER TREE (TYP.)

(QP) LARGE MATURING TREE (TYP.)

**BMP  
 FACILITY  
 B  
 8.110 AC**

(LJ) SCREENING SHRUB FOR BMP (TYP.)

SHRUB PLANTING (TYP.) SEE DETAIL 3 SHEET C8.02

TREE PLANTING (TYP.) SEE DETAIL 2 SHEET C8.02

IF EXISTING TREES IN BUFFER DO NOT MEET REQUIREMENTS, SUPPLEMENT WITH NEW TREES AS SHOWN. COORDINATE PLACEMENT WITH EXISTING TREES.

(NOW OR FORMERLY) BENJAMIN M III & DALLENE P SMITH DB 100/330 LAT 2002/119 #0005-00-091.00 VACANT

TREE SAVE AREA

30' TYPE 2 BUFFER "A"

**COURTYARD**

**COURT  
 YARD**

**POOL  
 COURTYARD**

**CLUB**

**DRIVE UP MAIL**

**SHEET C6.02**

**SHEET C6.00**

TREE SAVE AREA

TREES TO BE 40' O.C. MAX. SPACING AT PARKING PERIMETER

(IC) PERIMETER SHRUB (TYP.)

(HQ) PERIMETER SHRUB (TYP.)

(RI) PARKING LOT SHRUB (TYP.)

SHRUB PLANTING (TYP.) SEE DETAIL 3 SHEET C8.02

TREE PLANTING (TYP.) SEE DETAIL 2 SHEET C8.02

(QP) LARGE MATURING TREE (TYP.)

(ND) PARKING LOT SHRUB (TYP.)

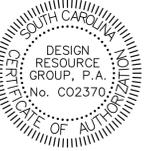
(JH) PARKING LOT SHRUB (TYP.)

SEE SHEET C6.00 FOR PLANT SCHEDULES AND CALCULATIONS



**Know what's below.  
 Call before you dig.**

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LANCASTER WATER AND SEWER DISTRICT SPECIFICATIONS.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.

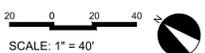


PRELIMINARY SITE PLAN

TWO CAPITAL INDIAN LAND  
LANCASTER COUNTY, SOUTH CAROLINA

TWO CAPITAL PARTNERS  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2681

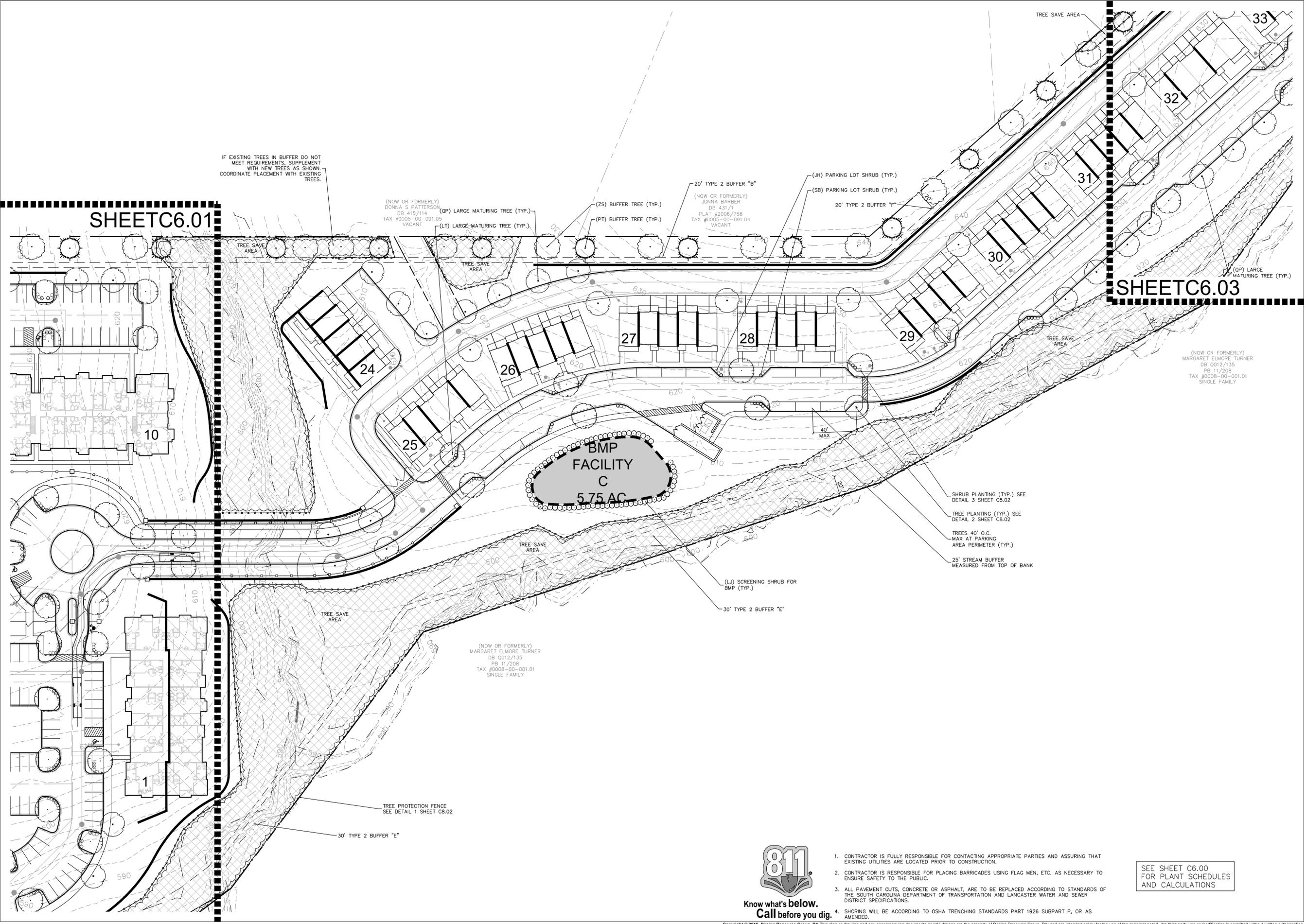
REQUIRED  
PLANTING  
PLAN



PROJECT #: 507-002  
DRAWN BY: DK  
CHECKED BY: SK

JUNE 10, 2016

REVISIONS:



Know what's below.  
Call before you dig.

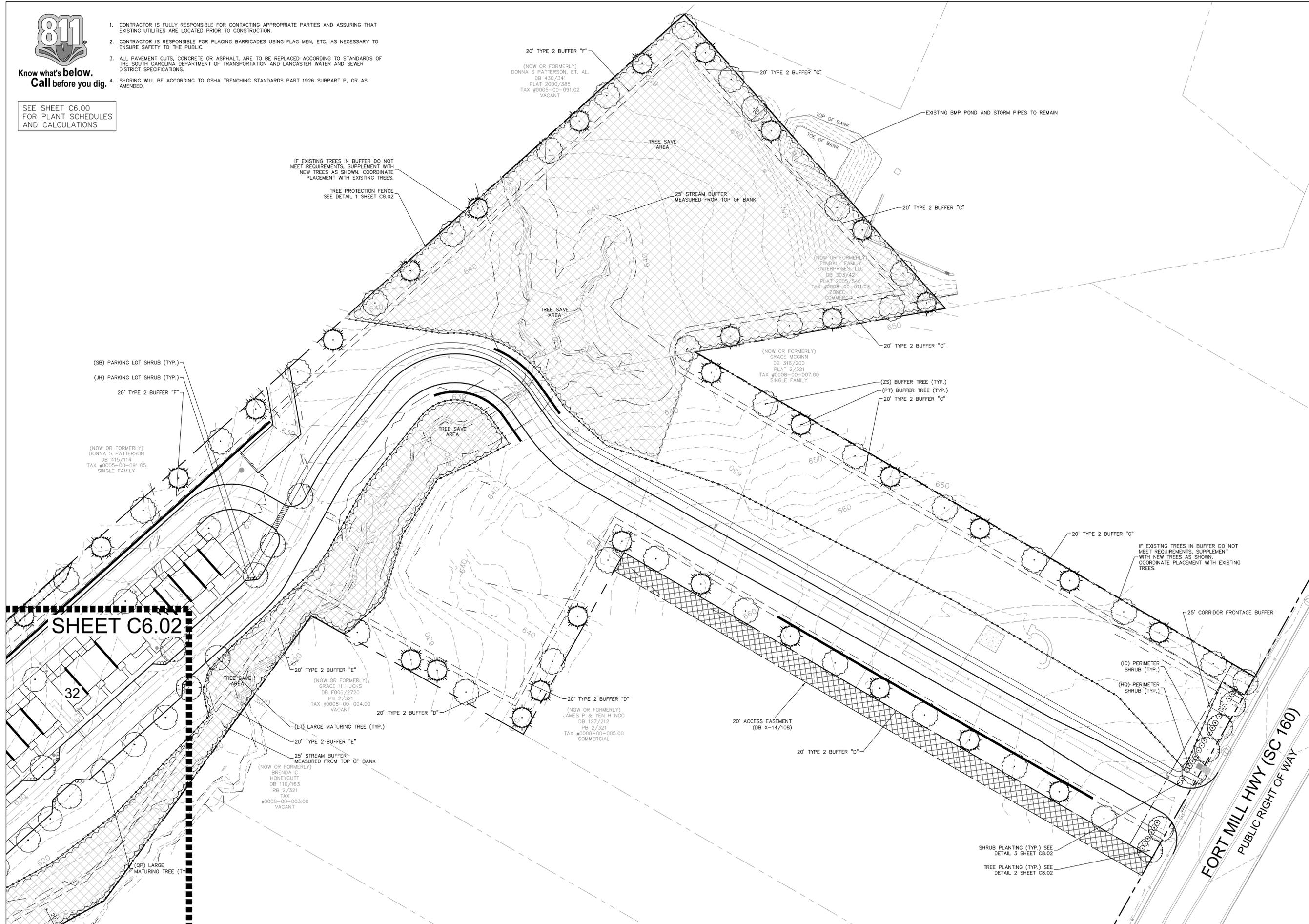
- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LANCASTER WATER AND SEWER DISTRICT SPECIFICATIONS.
- SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



Know what's below.  
Call before you dig.

SEE SHEET C6.00  
FOR PLANT SCHEDULES  
AND CALCULATIONS

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES USING FLAG MEN, ETC. AS NECESSARY TO ENSURE SAFETY TO THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION AND LANCASTER WATER AND SEWER DISTRICT SPECIFICATIONS.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926 SUBPART P, OR AS AMENDED.



SHEET C6.02

32



LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
TRANSPORTATION PLANNING

2459 Wilkinson Blvd, Ste 200 Charlotte, NC 28208  
704.343.0608  
www.drgrp.com



PRELIMINARY SITE PLAN

TWO CAPITAL INDIAN LAND  
LANCASTER COUNTY, SOUTH CAROLINA

TWO CAPITAL PARTNERS  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2681

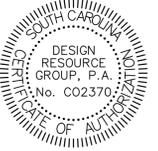
REQUIRED  
PLANTING  
PLAN

SCALE: 1" = 40'

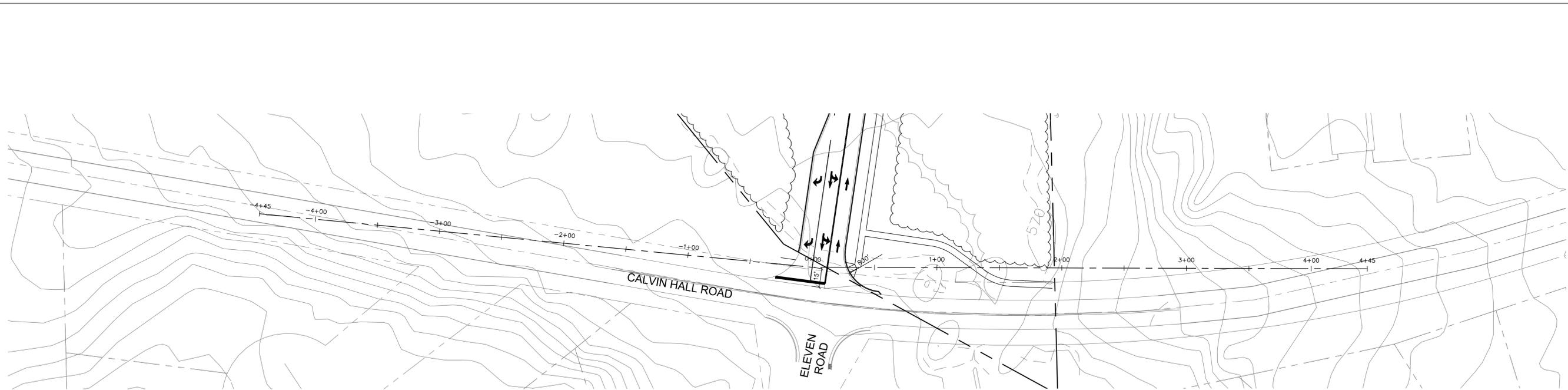
PROJECT #: 507-002  
DRAWN BY: DK  
CHECKED BY: SK

JUNE 10, 2016

REVISIONS:



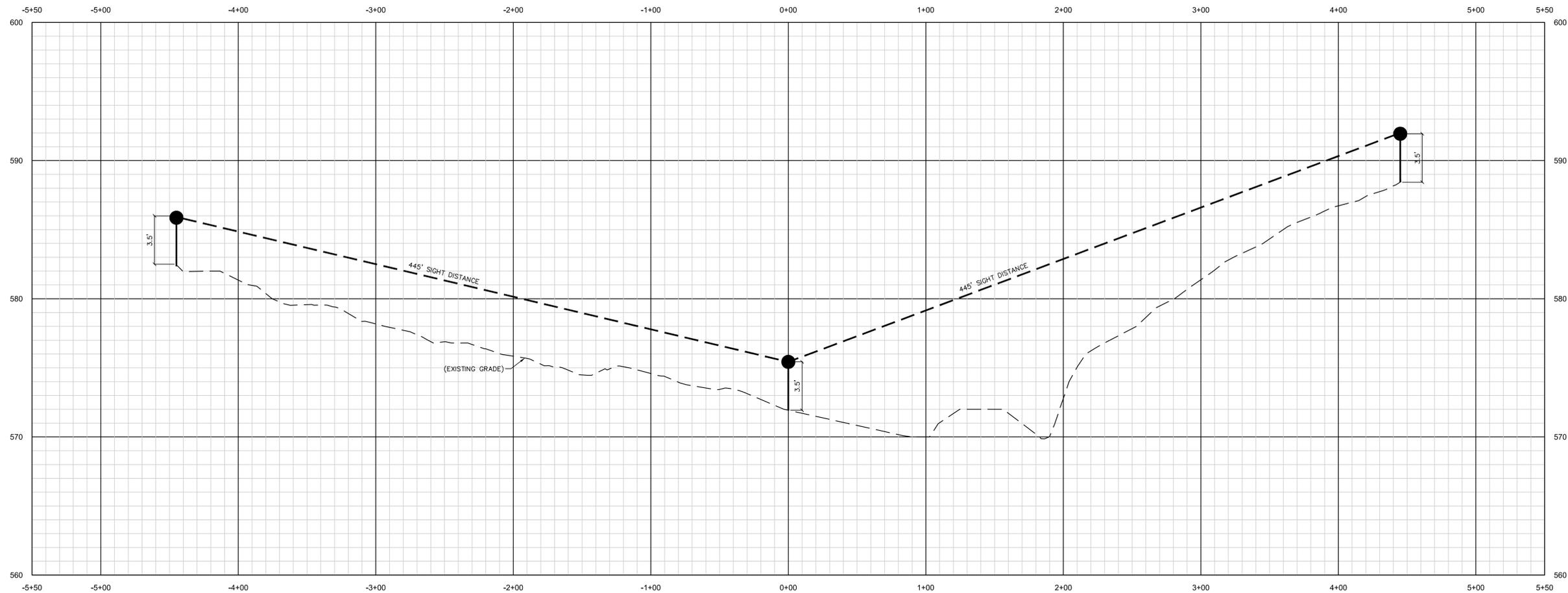
PRELIMINARY SITE PLAN



CALVIN HALL ROAD ISD PLAN

SPEED  
 LIMIT  
**40**

POSTED  
 SPEED  
 LIMIT



CALVIN HALL ROAD ISD PROFILE

**TWO CAPITAL INDIAN LAND**  
 LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
 3445 PEACHTREE RD., SUITE 465  
 ATLANTA, GA 30326  
 404.262.2681

**CALVIN HALL  
 ROAD ISD PLAN  
 AND PROFILE**

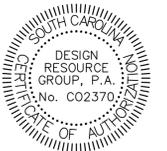


PROJECT #: 507-002  
 DRAWN BY: KC  
 CHECKED BY: SK

JUNE 10, 2016

REVISIONS:

C:\Users\jg07-002\OneDrive\Documents\Two Capital Partners - CDP\PROJECTS\INDIAN LAND - PLOT SHEETS\INDIAN LAND



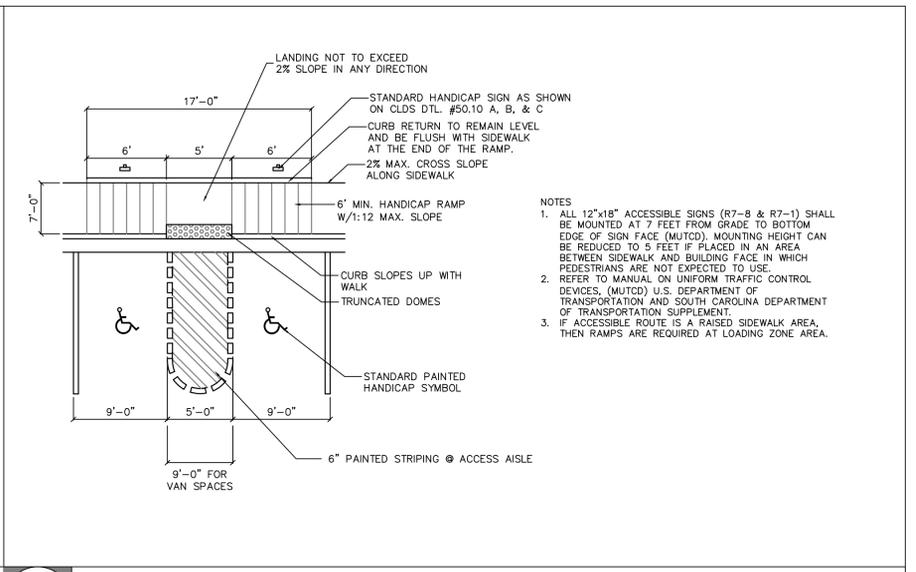
PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
LANCASTER COUNTY, SOUTH CAROLINA

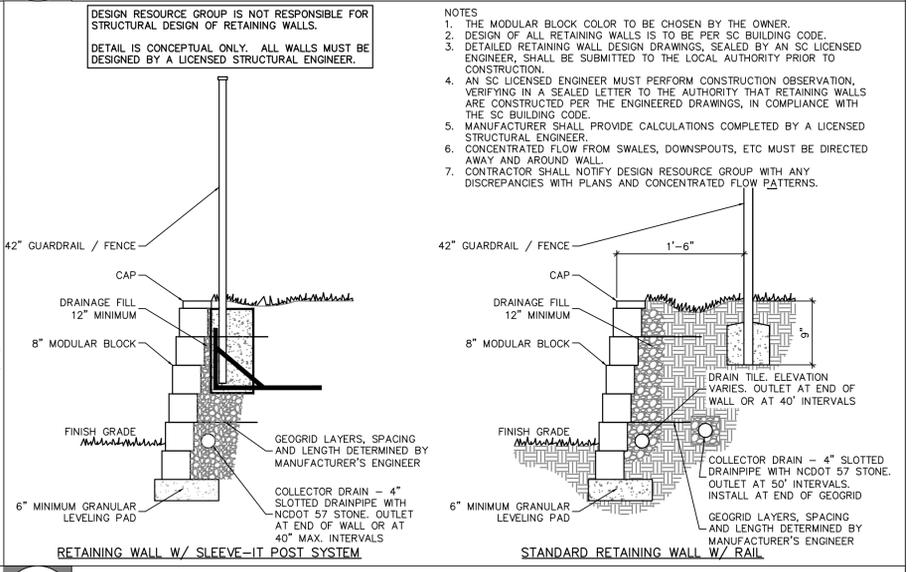
**TWO CAPITAL PARTNERS**  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2661

SITE DETAILS

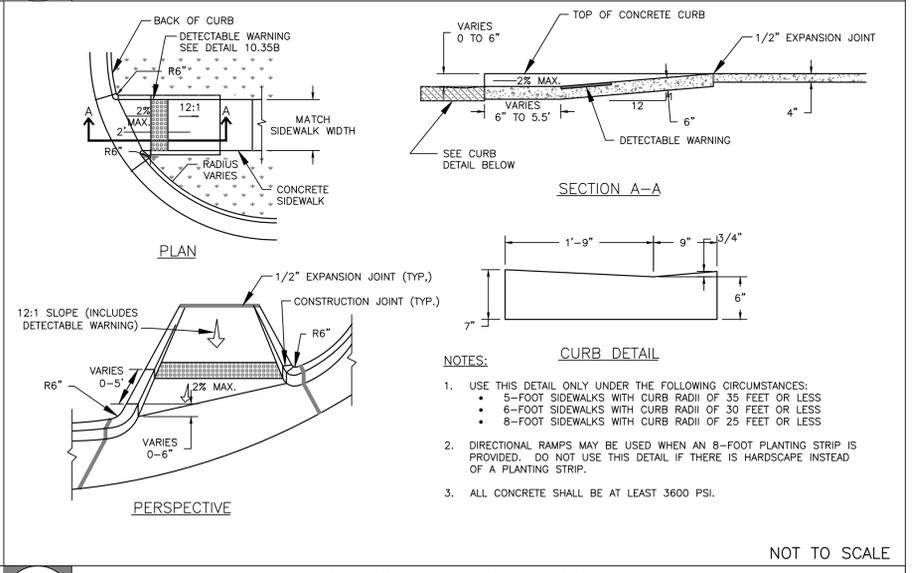
PROJECT #:	507-002
DRAWN BY:	KC
CHECKED BY:	SK
JUNE 10, 2016	
REVISIONS:	



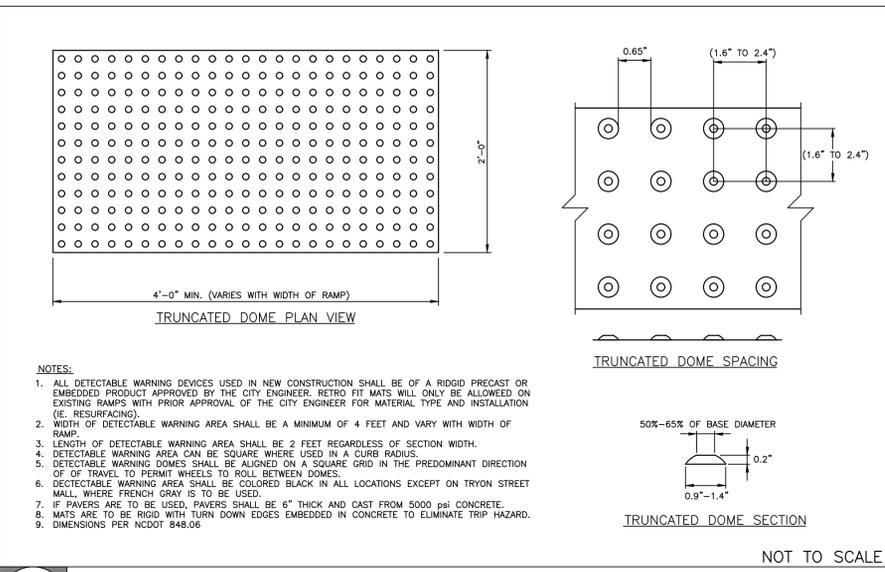
3 TYPICAL CURB RAMP & PARKING SPACE



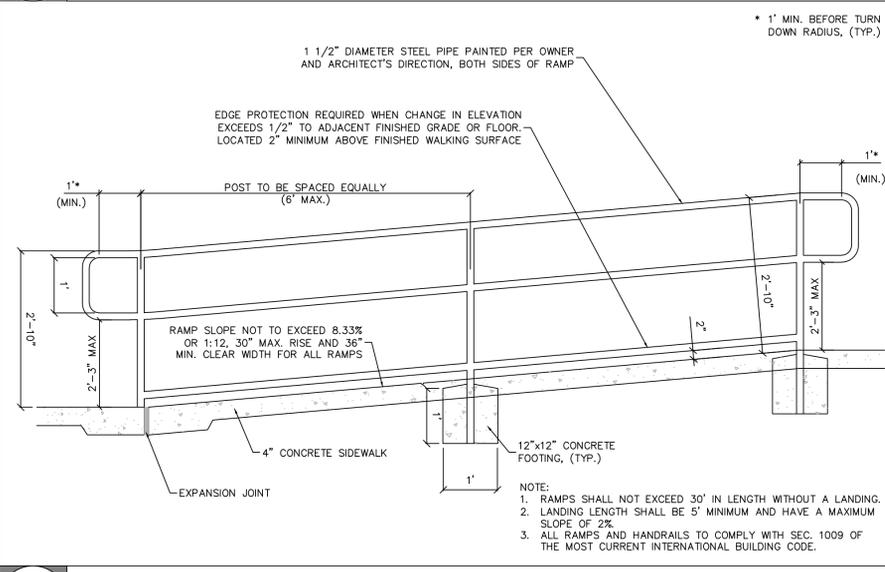
6 MODULAR BLOCK RETAINING WALL



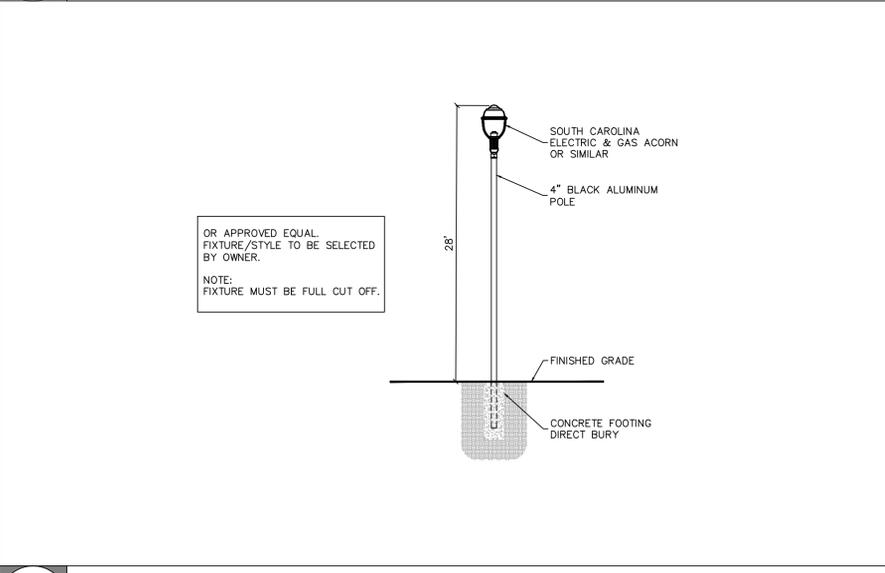
9 DIRECTIONAL ACCESSIBLE RAMP WITH SMALL/MEDIUM CURB RADII



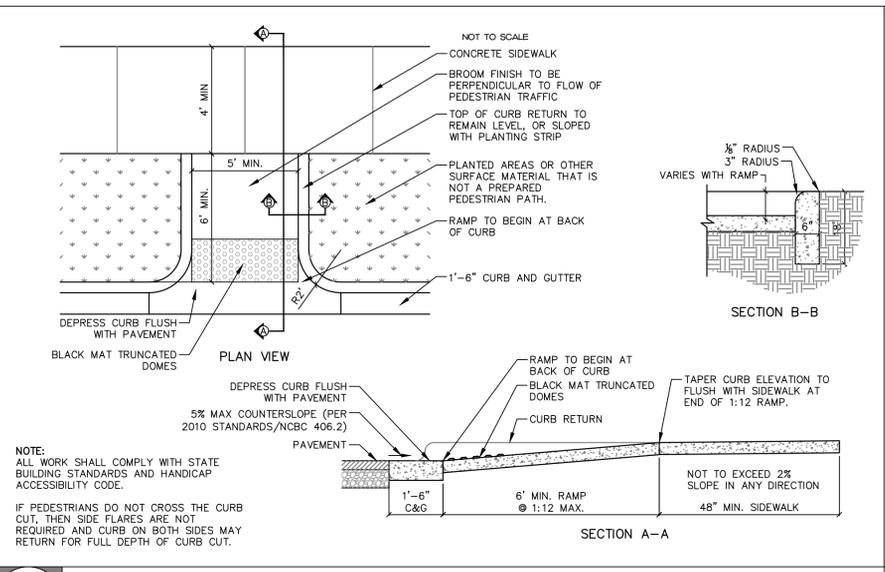
2 TRUNCATED DOMES PLAN AND CROSS-SECTION



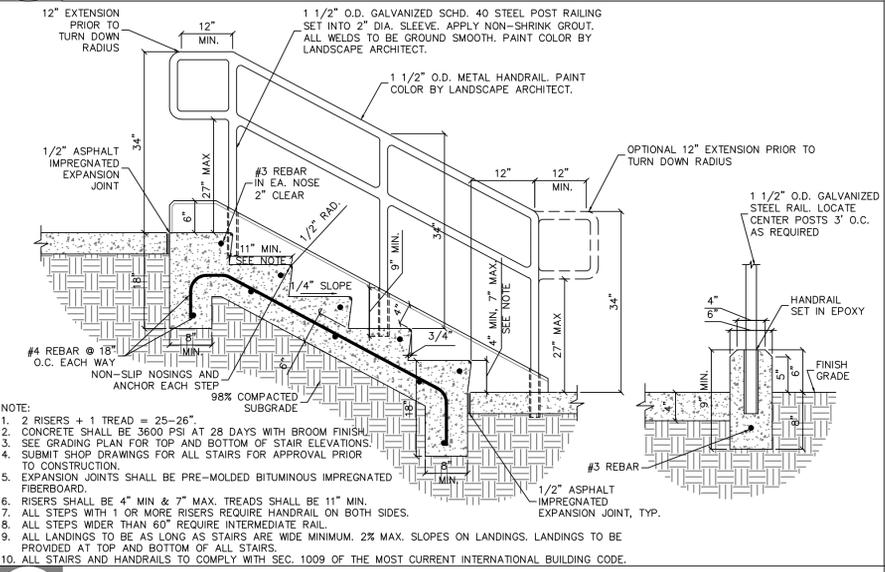
5 ACCESSIBLE RAMP



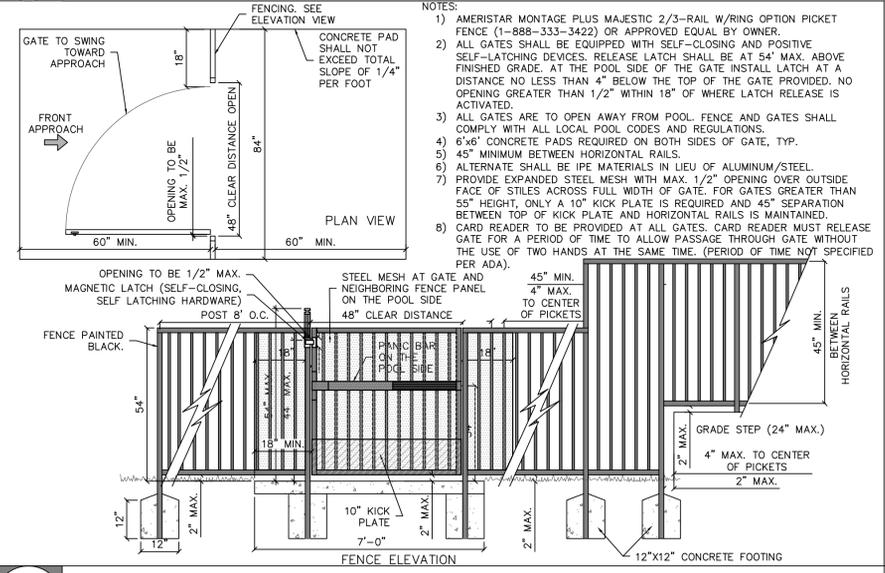
8 LIGHT POLE



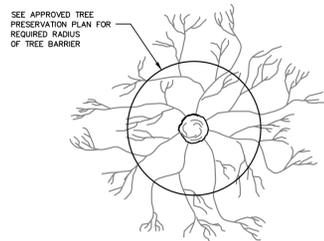
1 HANDICAP RAMP WITH CURB RETURN (FOR PRIVATE USE, NOT PUBLIC SIDEWALKS)



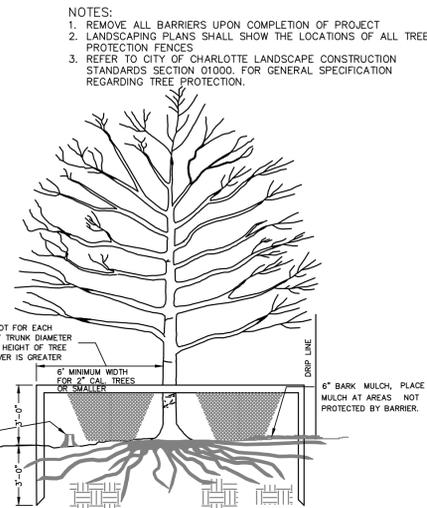
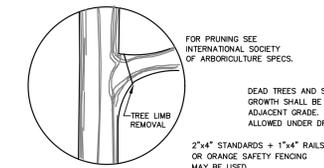
4 CONCRETE STAIRS



7 ORNAMENTAL METAL FENCE



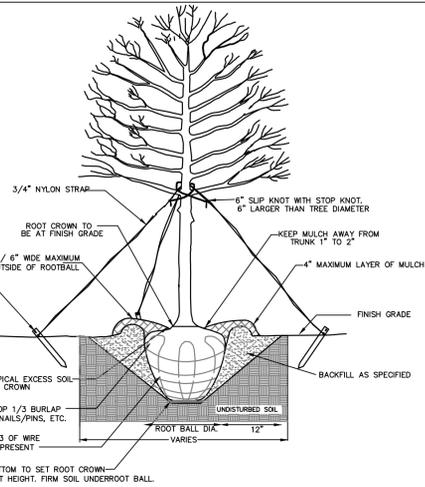
PLAN VIEW OF ROOT ZONE



NOT TO SCALE

1 TREE PROTECTION DETAIL

- NOTES:
1. REMOVE WIRE AND NYLON TWINE FROM BALL AND CANOPY.
  2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
  3. STAKING IS REQUIRED FOR ALL TREES IN R.O.W. OR UPON REQUEST OF ARBORIST.
  4. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF IN A LEGAL MANNER.
  5. RESEED UNMULCHED, DISTURBED AREAS.



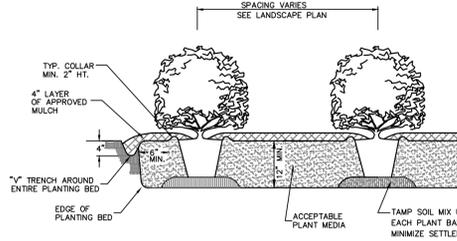
ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004)  
 FOR EXAMPLE:

CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
2"	12-14'	16'	24"	18"
3"	14-16'	18'	32"	21"

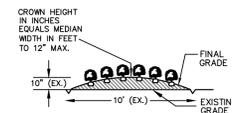
NOT TO SCALE

2 TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES)

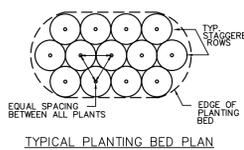
- NOTES:
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
  2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
  3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
  4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
  5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL PLANTING BED DETAIL



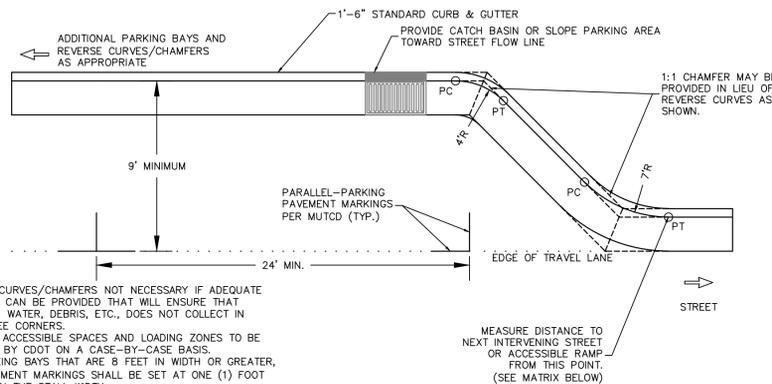
TYPICAL BED CROWNING



TYPICAL PLANTING BED PLAN

NOT TO SCALE

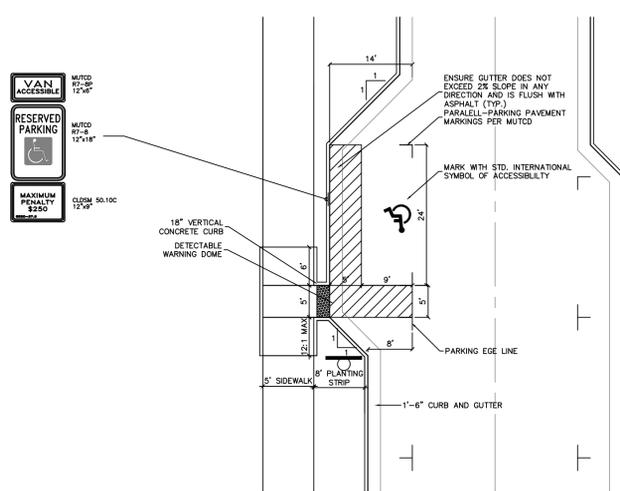
3 SHRUB PLANTING BED



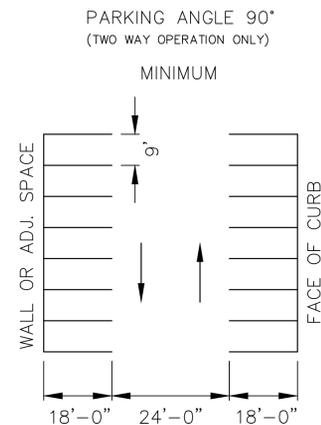
- NOTES:
1. REVERSE CURVES/CHAMFERS NOT NECESSARY IF ADEQUATE DRAINAGE CAN BE PROVIDED THAT WILL ENSURE THAT SEDIMENT, WATER, DEBRIS, ETC., DOES NOT COLLECT IN 90-DEGREE CORNERS.
  2. PARALLEL ACCESSIBLE SPACES AND LOADING ZONES TO BE REVIEWED BY CDOT ON A CASE-BY-CASE BASIS.
  3. FOR PARKING BAYS THAT ARE 8 FEET IN WIDTH OR GREATER, THE PAVEMENT MARKINGS SHALL BE SET AT ONE (1) FOOT LESS THAN THE STALL WIDTH.
  4. GREATER SEPARATION FROM INTERVENING STREETS THAN THE DISTANCES PROVIDED IN THE MATRIX MAY BE REQUIRED AT CDOT'S DISCRETION.
  5. POSITIVE DRAINAGE SHALL BE PROVIDED EITHER BY INSTALLATION OF APPROPRIATE DRAINAGE STRUCTURES OR SLOPE PARKING AREA TO STREET FLOW LINE. SLOPING PARKING AREA TO STREET FLOW LINE ONLY PERMITTED IF ROAD GRADE IS GREATER THAN 2%.
  6. IF A BIKE LANE IS REQUIRED ADJACENT TO PARALLEL PARKING, THE MINIMUM WIDTH OF BIKE LANE IS 6'.

NOT TO SCALE

4 PARALLEL PARKING STANDARDS



5 ACCESSIBLE ON STREET PARKING

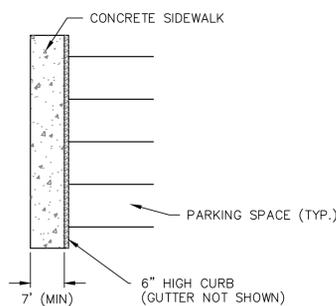


- NOTES:
1. FOR ACCESSIBLE PARKING STANDARDS SEE DETAIL 7, CR.00
  2. PAVEMENT MARKINGS SHALL BE 4" WHITE PAINT.

NOT TO SCALE

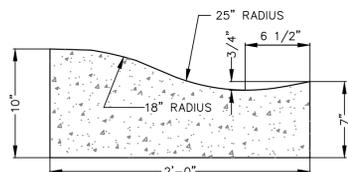
6 PARKING STANDARDS

SIDEWALK ADJACENT TO HEAD-IN OR BACK-IN PARKING SHALL BE AT LEAST 7 FEET WIDE. PARKING ON ONE SIDE OF A SIDEWALK

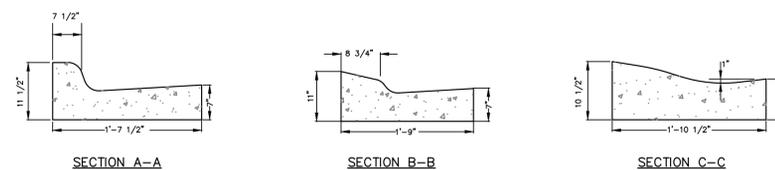
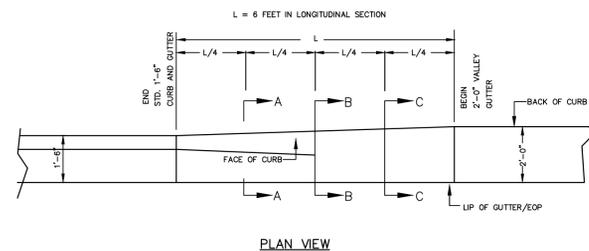


NOT TO SCALE

7 PARKING STANDARDS (CONTINUED)



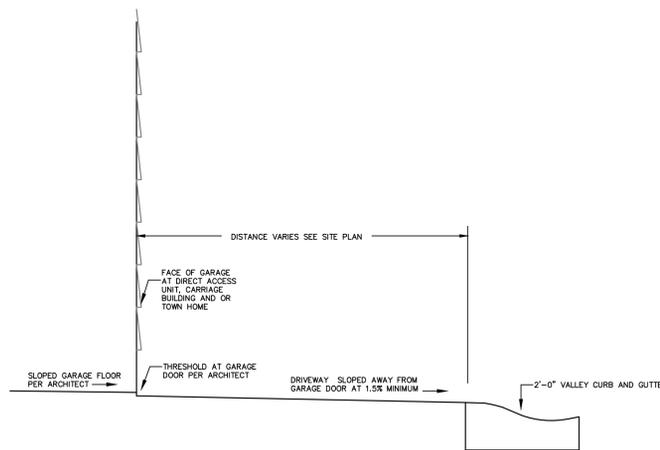
8 2'-0" VALLEY CURB AND GUTTER



- NOTE:
1. TRANSITION IS NOT TO BE LOCATED WITHIN THE CURB RADIUS.

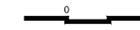
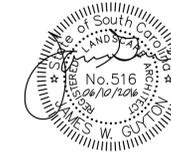
NOT TO SCALE

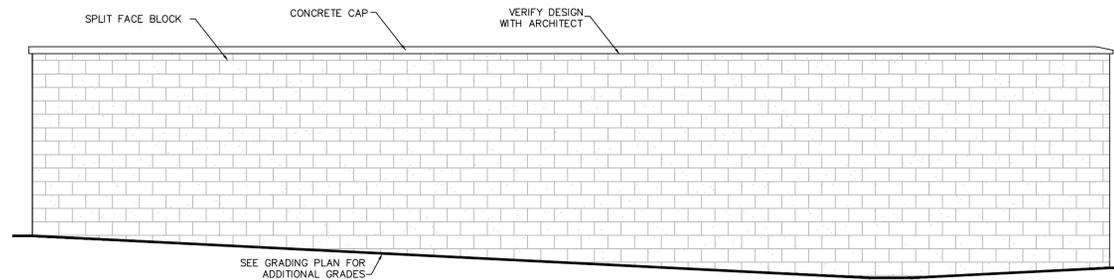
9 CURB TRANSITION 1'-6" CURB AND GUTTER TO 2'-0" VALLEY GUTTER



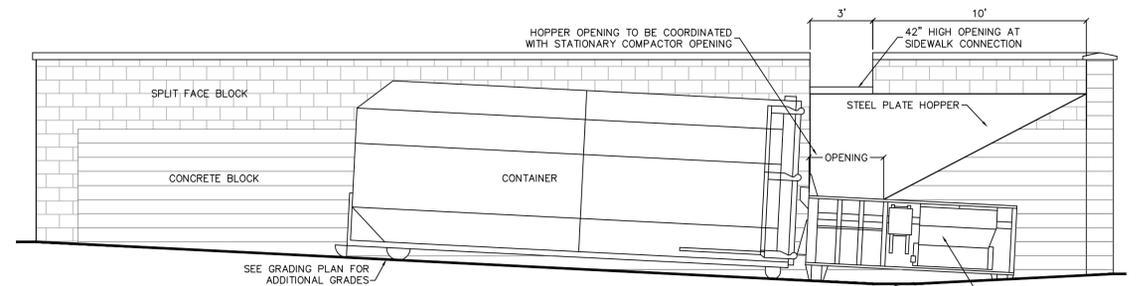
NOT TO SCALE

9 PRIVATE DRIVEWAY SECTION

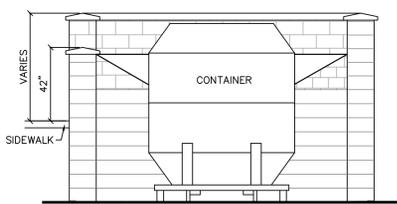




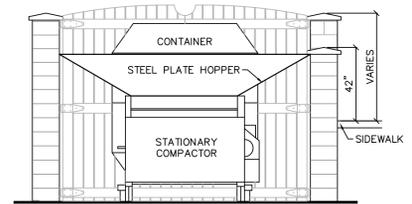
EXTERIOR SIDE VIEW



SIDE VIEW

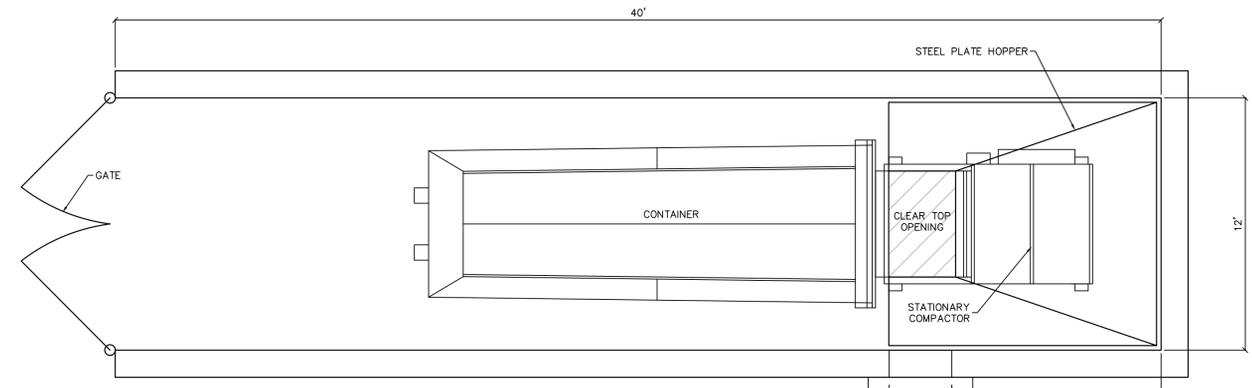


FRONT VIEW

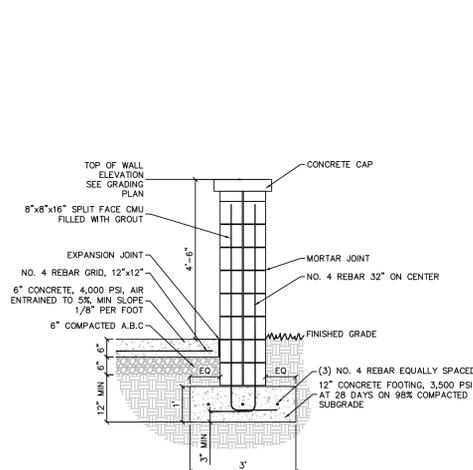


REAR VIEW

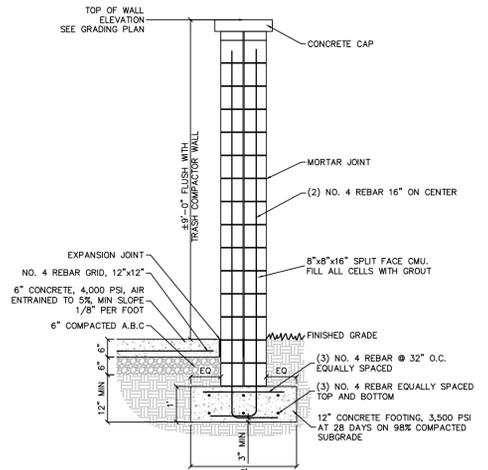
- NOTE:
1. STEEL PLATE HOPPER TO BE CONSTRUCTED AND ATTACHED SO THAT IT REMAINS ON SITE DURING TRASH REMOVAL.
  2. DO NOT ATTACH HOPPER DIRECTLY TO MASONRY WALL.
  3. HOPPER HEIGHT TO BE A MINIMUM OF 54" (4'-6") ABOVE BASE GRADE. PREFERABLY BETWEEN 7' & 8'.
  4. SEE CIVIL DRAWINGS FOR STORM DRAINAGE (OR SANITARY CONNECTION) AS REQUIRED BY LOCAL CODES.
  5. SEE CIVIL ENGINEER'S DRAWINGS FOR CONNECTION OR FREEZE PROOF YARD HYDRANT.
  6. ALL EQUIPMENT SHALL BE SINGLE PHASE ELECTRIC, TO BE COORDINATED WITH MANUFACTURE AND ELECTRICAL CONTRACTOR.
  7. STATIONARY COMPACTOR TO BE RJ-225 ON SITE COMPACTOR BY MARATHON EQUIPMENT CO.
  8. CONTAINER TO BE RJ-40 OCVL. ROLL-OFF OCTAGON COMPACTION CONTAINER BY MARATHON EQUIPMENT CO.



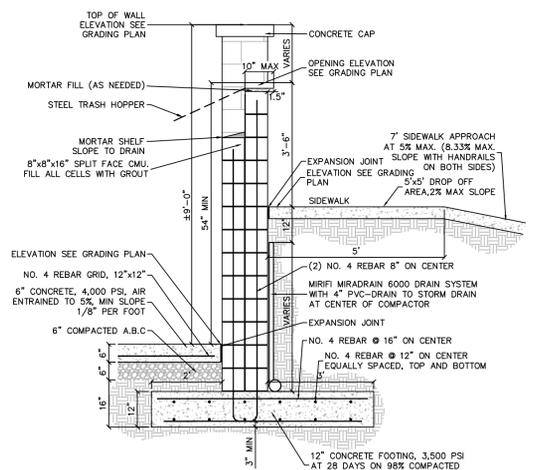
PLAN VIEW



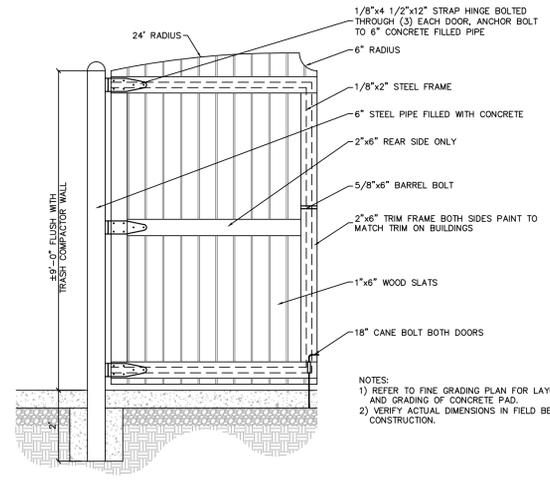
RECYCLING AREA SCREEN WALL



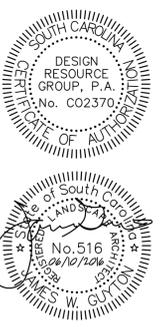
CARDBOARD BIN SCREEN WALL



TRASH COMPACTOR WALL



GATE ELEVATION

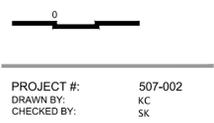


PRELIMINARY SITE PLAN

**TWO CAPITAL INDIAN LAND**  
LANCASTER COUNTY, SOUTH CAROLINA

**TWO CAPITAL PARTNERS**  
3445 PEACHTREE RD., SUITE 405  
ATLANTA, GA 30326  
404.262.2661

SITE DETAILS



PROJECT #: 507-002  
DRAWN BY: KC  
CHECKED BY: SK

JUNE 10, 2016

REVISIONS:



PRELIMINARY SITE PLAN

TWO CAPITAL INDIAN LAND  
LANCASTER COUNTY, SOUTH CAROLINA

TWO CAPITAL PARTNERS  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2681

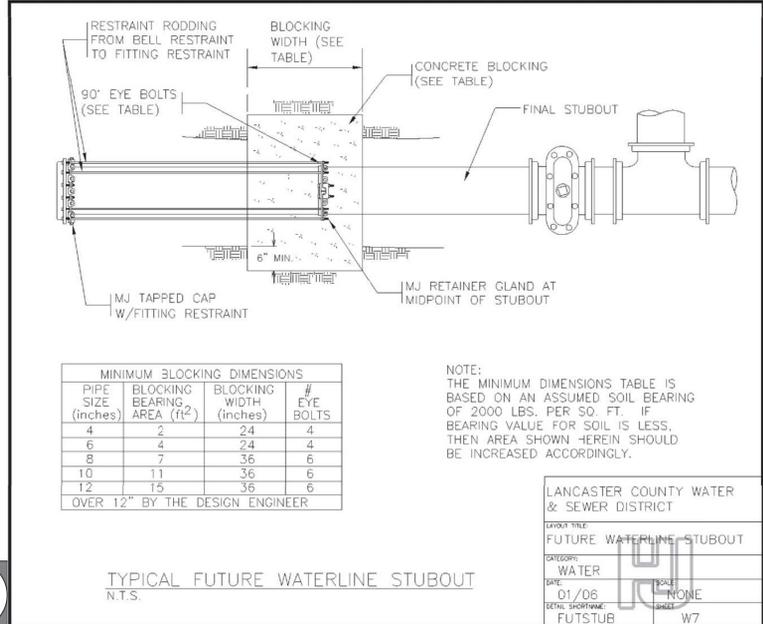
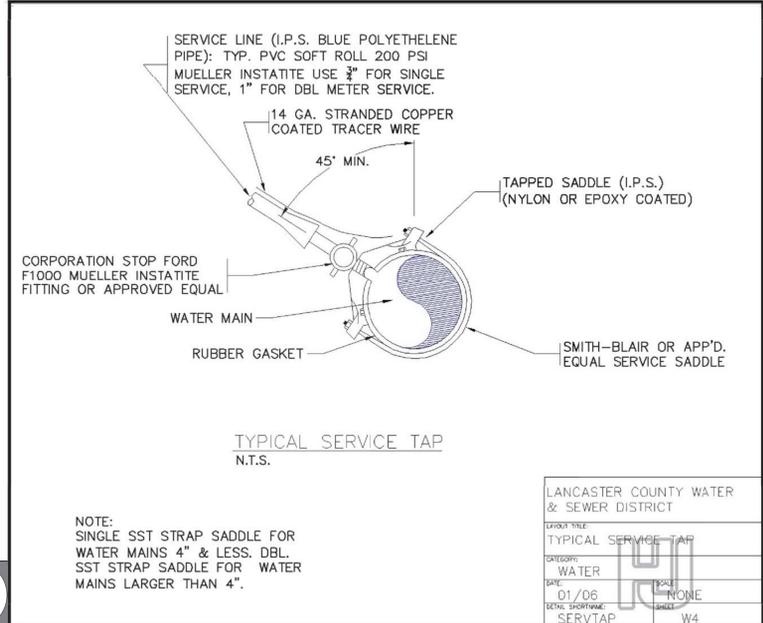
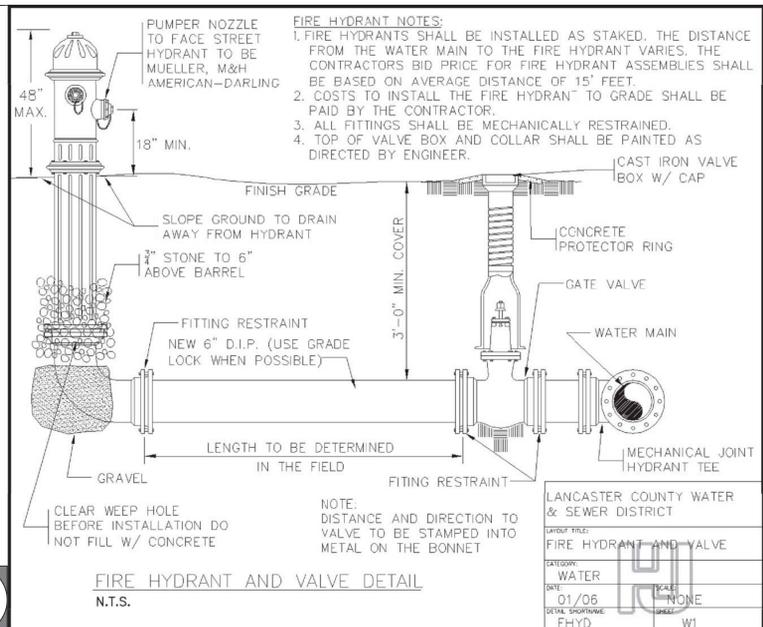
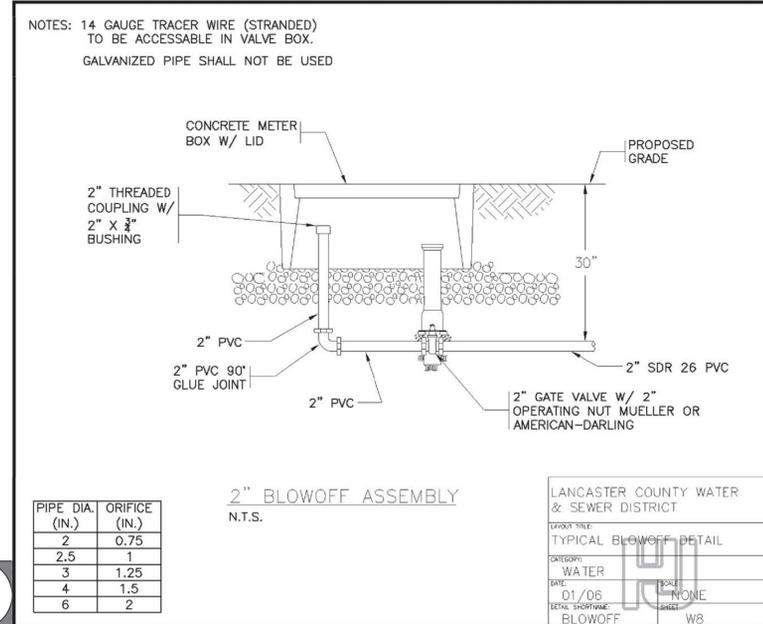
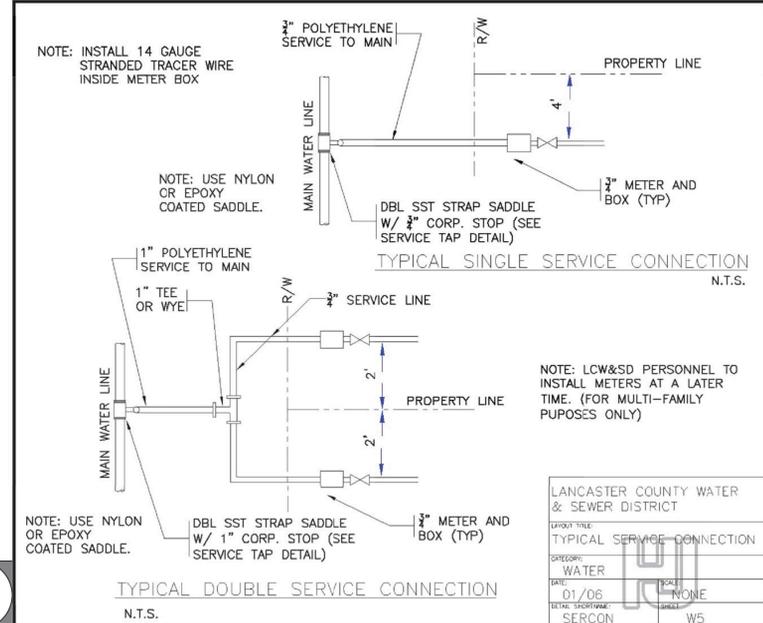
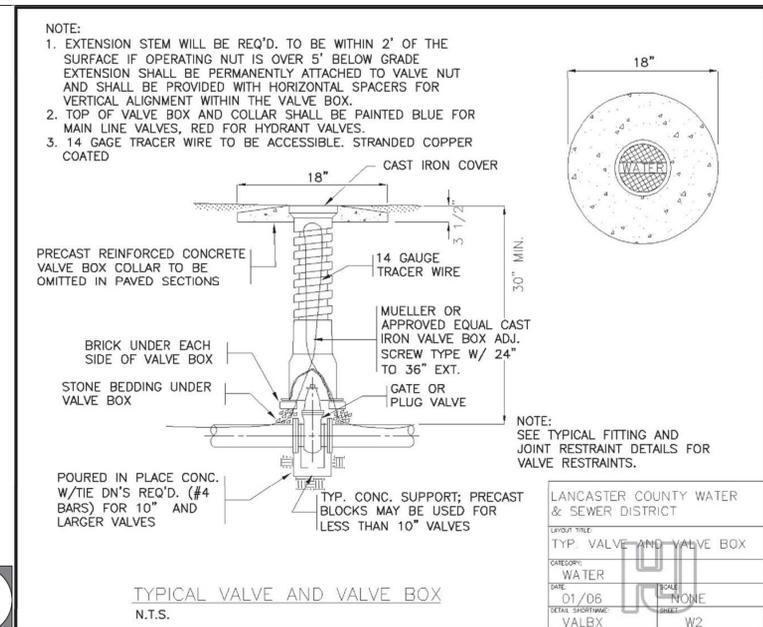
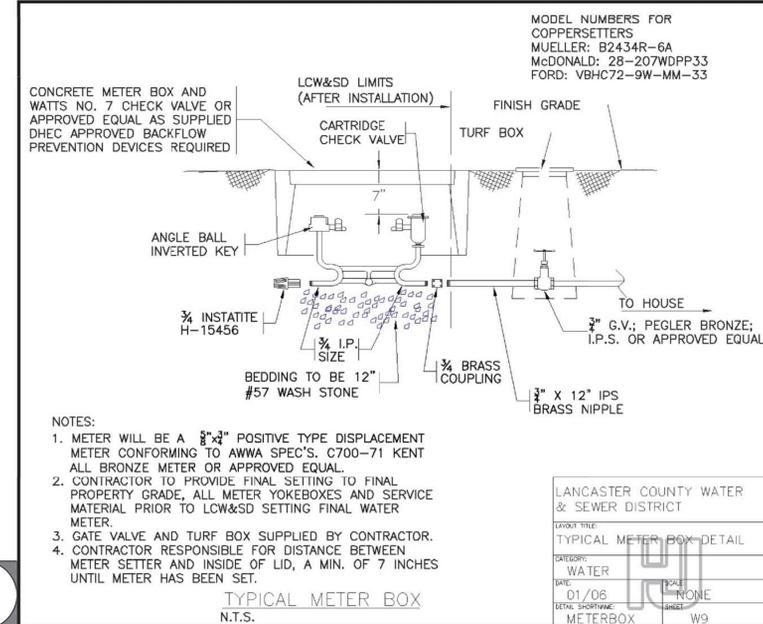
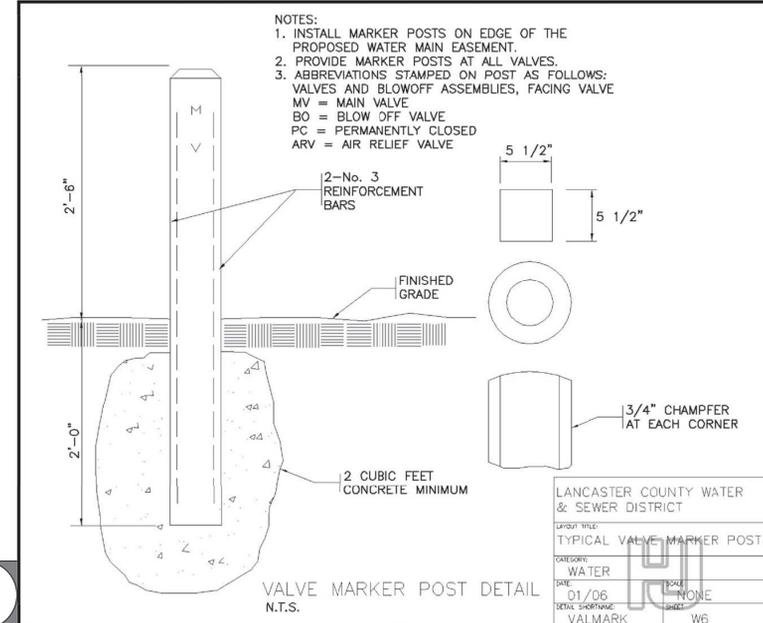
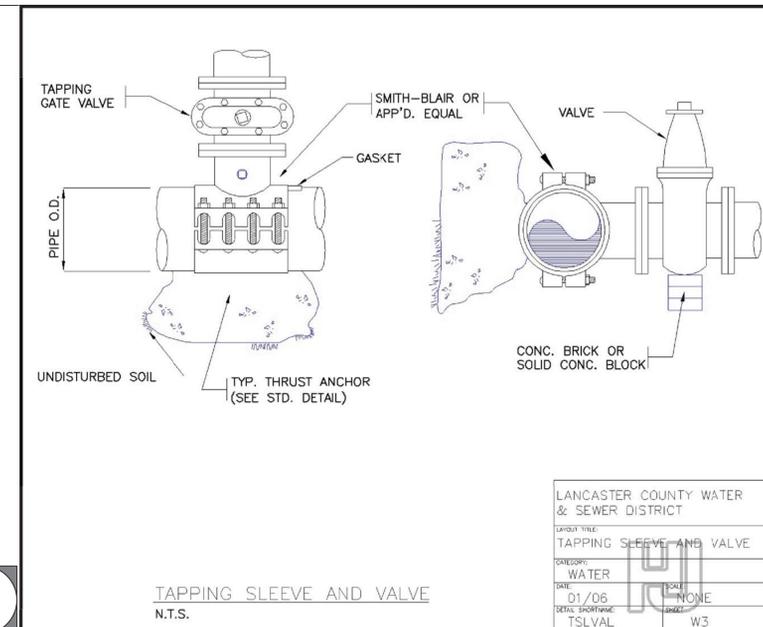
UTILITY  
DETAILS

SCALE: NTS

PROJECT #: 507-002  
DRAWN BY: KL  
CHECKED BY: MM

JUNE 10, 2016

REVISIONS:



1

2

3

4

5

6

7

8

9

C:\Users\m007\OneDrive\Desktop\Two Capital Partners - CLP Properties\W9 - Plot Sheets - C09



PRELIMINARY SITE PLAN

TWO CAPITAL INDIAN LAND  
LANCASTER COUNTY, SOUTH CAROLINA

TWO CAPITAL PARTNERS  
3445 PEACHTREE RD., SUITE 465  
ATLANTA, GA 30326  
404.262.2661

UTILITY  
DETAILS

SCALE: NTS

PROJECT #: 507-002  
DRAWN BY: KL  
CHECKED BY: MM

JUNE 10, 2016

REVISIONS:

**TYPICAL SECTION OF PRECAST SANITARY SEWER DROP MANHOLE**  
N.T.S.

NOTES:  
1. CARE MUST BE TAKEN TO FORM A SMOOTH FINISHED TROUGH FROM ENTRANCE PIPES TO EXIT PIPE, AND IN CURVED MANHOLES, THE TROUGH MUST BE A SMOOTH, CIRCULAR ARC TANGENT TO THE INSIDE WALLS OF THE PIPES AT THEIR ENDS.  
2. THE SLOPE OF THE OUTSIDE DROP TROUGH SHALL BE 1/4" PER FOOT.  
3. ALL PIPE OPENINGS TO BE NO GREATER THAN 3" LARGER THAN O.D. OF PIPE AND ADDITIONALLY REINFORCED WITH A MINIMUM OF 0.20 SQ. IN. OF STEEL AT 90 DEGREES. PIPE TO BE CENTERED IN OPENINGS. ADDITIONAL REINFORCING NOT REQUIRED FOR CORED OPENINGS.  
4. OUTSIDE DROP SHALL NOT ENTER MANHOLE IN CONE SECTION.  
5. MATCH DROP INFLUENT CROWN TO CROWN WITH EFFLUENT PIPE.  
6. ALL PRECAST MANHOLES TO INCLUDE STEPS.  
7. MAXIMUM HEIGHT FROM TOP OF MANHOLE CONE TO TOP OF MANHOLE TO BE 18".  
8. ALL DIP PIPE AND FITTINGS TO BE COATED.

PROJECT TITLE:	LANCASTER COUNTY WATER & SEWER DISTRICT
DATE:	01/06
SCALE:	NONE
SHEET:	S10
DETAIL DESCRIPTION:	ARVA2

**AIR RELEASE VALVE ASSEMBLY**  
N.T.S.

NOTES:  
1. AIR RELEASE VALVE SHALL BE INSTALLED ON THE HIGH POINT OF WATER MAIN.  
2. ALL MATERIALS & EQUIPMENT TO BE PER AWWA SPECS.  
3. AIR RELEASE SHALL BE AFPCO MODEL 55 OR APPROVED EQUAL.  
4. CORP. STOP, BRASS PIPE, FITTINGS, AND ANGLE VALVE TO BE SAME DIA. AS AIR RELEASE VALVE INLET.  
5. LIMIT OF PAY ITEMS INCLUDES SERVICE SADDLE.

PROJECT TITLE:	LANCASTER COUNTY WATER & SEWER DISTRICT
DATE:	01/06
SCALE:	NONE
SHEET:	S11
DETAIL DESCRIPTION:	ARVA2

**AIR RELEASE VALVE ASSEMBLY**  
N.T.S.

NOTES:  
1. AIR RELEASE VALVE SHALL BE INSTALLED ON THE HIGH POINT OF WATER MAIN.  
2. ALL MATERIALS & EQUIPMENT TO BE PER AWWA SPECS.  
3. AIR RELEASE SHALL BE AFPCO MODEL 55 OR APPROVED EQUAL.  
4. CORP. STOP, BRASS PIPE, FITTINGS, AND ANGLE VALVE TO BE SAME DIA. AS AIR RELEASE VALVE INLET.  
5. LIMIT OF PAY ITEMS INCLUDES SERVICE SADDLE.

PROJECT TITLE:	LANCASTER COUNTY WATER & SEWER DISTRICT
DATE:	01/06
SCALE:	NONE
SHEET:	S10
DETAIL DESCRIPTION:	ARVA2

**TYPICAL SECTION OF PRECAST SANITARY MANHOLE**  
N.T.S.

NOTE:  
PROVIDE ECCENTRIC CONE FOR M.H.'S 6' DEEP OR GREATER

PROJECT TITLE:	LANCASTER COUNTY WATER & SEWER DISTRICT
DATE:	01/06
SCALE:	NONE
SHEET:	S8
DETAIL DESCRIPTION:	DROPMH

**TYPICAL MANHOLE INVERTS**  
N.T.S.

NOTE:  
SHAPE INVERT TO 1/2 PIPE DIAMETER IN ALL CASES

NOTE:  
SEE TYPICAL MANHOLE SECTION DETAIL FOR CONTINUATION OF MANHOLE CONSTRUCTION

PROJECT TITLE:	LANCASTER COUNTY WATER & SEWER DISTRICT
DATE:	01/06
SCALE:	NONE
SHEET:	S29
DETAIL DESCRIPTION:	MHNIV

**TYPICAL SEWER SERVICE CONNECTION DETAIL 2**  
N.T.S.

NOTE:  
1. SERVICE SHALL BE A MIN. OF 2' AND A MAX. OF 5' UNLESS GREATER DEPTH IS REQUIRED TO OBTAIN GRAVITY FLOW.  
2. TREATED 4 X 4 POST OR AT LCWSD INSPECTOR'S DISCRETION TO BE USED TO MARK END OF SEWER SERVICE.

PROJECT TITLE:	LANCASTER COUNTY WATER & SEWER DISTRICT
DATE:	4/05
SCALE:	NONE
SHEET:	S32
DETAIL DESCRIPTION:	PCSMH

**TYPICAL SEWER SERVICE CONNECTION DETAIL 1**  
N.T.S.

NOTE:  
1. SERVICE SHALL BE A MIN. OF 2' AND A MAX. OF 5' UNLESS GREATER DEPTH IS REQUIRED TO OBTAIN GRAVITY FLOW.  
2. TREATED 4 X 4 POST OR AT LCWSD INSPECTOR'S DISCRETION TO BE USED TO MARK END OF SEWER SERVICE.

PROJECT TITLE:	LANCASTER COUNTY WATER & SEWER DISTRICT
DATE:	4/05
SCALE:	NONE
SHEET:	S31
DETAIL DESCRIPTION:	PCSMH